

ABBREVIATIONS LIST

| | |
|------|-----------------------|
| AC | ASPHALTIC CONCRETE |
| CHRY | CHERRY TREE |
| CSP | CORRUGATED STEEL PIPE |
| DEC | DECIDUOUS TREE |
| DFIR | DOUGLAS FIR TREE |
| DIP | DUCTILE IRON PIPE |
| EL | ELEVATION |
| EX. | EXISTING |
| FL | FLOW LINE |
| IE | INVERT ELEVATION |
| NO. | NUMBER |
| RDWD | REDWOOD TREE |

EXISTING CONDITIONS PLAN

THIS PLAN HAS BEEN PREPARED FOR ILLUSTRATIVE PURPOSES ONLY. SITE BACKGROUND INFORMATION AND FEATURES HAVE BEEN GENERATED FROM A COMBINATION OF PUBLIC GIS DATA SOURCES, AERIAL PHOTOS, PHYSICAL SITE OBSERVATIONS, AND TOPOGRAPHIC SURVEY PROVIDED BY CRJW, LLC. AND PREPARED BY ANDY PARIS AND ASSOCIATES, INC. DATED APRIL 1, 2019. PROPOSED SITE FEATURES ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE. NO WARRANTY OR GUARANTEE IS EXPRESSED OR IMPLIED.

NOTES

- VERTICAL DATUM IS NGVD 29, BASED ON WASHINGTON COUNTY BENCHMARK NO. 194 HAVING AN ELEVATION OF 209.254 FEET.
- NAVD 88 ELEVATIONS FROM FEMA FLOOD INSURANCE STUDY CONVERTED TO NGVD 29 BY SUBTRACTING 3.52 FEET.
- THE BOUNDARIES AS SHOWN ON THIS MAP ARE BASED ON RECORD DATA AND FOUND MONUMENTS. THIS PLAN DOES NOT REPRESENT A SURVEY TO BE RECORDED, BUT WAS DONE FOR SITE / TOPOGRAPHIC INFORMATION ONLY. THIS PLAN DOES NOT CONSTITUTE A TITLE SEARCH. THERE MAY EXIST EASEMENTS, CONDITIONS, OR RESTRICTIONS THAT COULD AFFECT THE TITLE OF THIS PROPERTY. NO ATTEMPT HAS BEEN MADE TO SHOW SUCH MATTERS THAT MAY AFFECT TITLE.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THE TOPOGRAPHIC SURVEY OR PREPARATION OF THIS EXISTING CONDITIONS PLAN. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
- THE LOCATION AND OR EXISTENCE OF UTILITY SERVICE LINES AS SHOWN ON THIS MAP ARE BASED ON FIELD OBSERVATION ONLY. THERE MAY EXIST ADDITIONAL SERVICE LINES NOT SHOWN ON THIS SURVEY. NOT ALL SURFACE FEATURES OR UTILITIES MAY BE SHOWN. SITE FEATURES ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE. NO WARRANTY OR GUARANTEE IS EXPRESSED OR IMPLIED. SEE UTILITY STATEMENT, THIS SHEET. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION TO DETERMINE WORK SPECIFIC DETAILS.

UTILITY STATEMENT

THE UNDERGROUND UTILITY LINES ARE FROM FIELD SURFACE LOCATIONS ONLY AND/OR RECORD INFORMATION FROM AS-BUILT MAPS, HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLE DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

FLOOD HAZARD NOTE

ZONE X (UN-SHADED) THE SITE IS LOCATED WITHIN ZONE X (UN-SHADED) PER FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY-PANEL NUMBER 41067 C0361E
 FEMA'S DEFINITION OF ZONE X (UN-SHADED) IS AN AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE X IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD. IN COMMUNITIES THAT PARTICIPATE IN THE NFIP, FLOOD INSURANCE IS AVAILABLE TO ALL PROPERTY OWNERS AND RENTERS IN THESE ZONES.

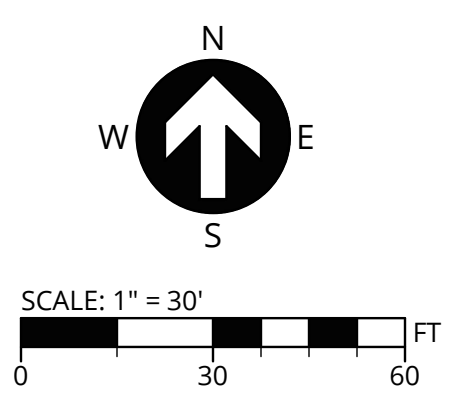
GEOTECHNICAL INFORMATION

| BORING | DEPTH OF BORING (FT) | DEPTH TO GROUNDWATER (FT) | INFILTRATION TEST NO. | DEPTH (FT) | FIELD MEASURED INFILTRATION RATE (IN/HR) |
|--------|----------------------|---------------------------|-----------------------|------------|--|
| B-1 | 16.5 | * | IT-1 | 4.5 | 0 |
| B-2 | 16.5 | * | IT-2 | 5.0 | 0 |
| B-3 | 6.5 | * | IT-3 | 5.5 | 0.13 |
| B-4 | 6.5 | * | IT-4 | 5.0 | 1.50 |
| B-5 | 31.5 | 23' | | | |
| B-6 | 31.5 | * | | | |

* GROUND WATER WAS NOT ENCOUNTERED IN BORING.
 GROUNDWATER FOUND IN B-5 WAS CONFINED AND ROSE APPROX. 7 FT (TO APPROX. 16 BGS) IN APPROX. 25 MINUTES. GROUNDWATER SHOULD BE EXPECTED TO RISE SEVERAL FEET DURING PERIODS OF EXTENDED RAINFALL AS WELL AS FROM CAPILLARY RISE. GROUNDWATER CONDITIONS AT THE SITE ARE EXPECTED TO VARY SEASONALLY DUE TO RAINFALL EVENTS AND OTHER FACTORS NOT OBSERVED IN EXPLORATIONS BY THE GEOTECHNICAL ENGINEER.

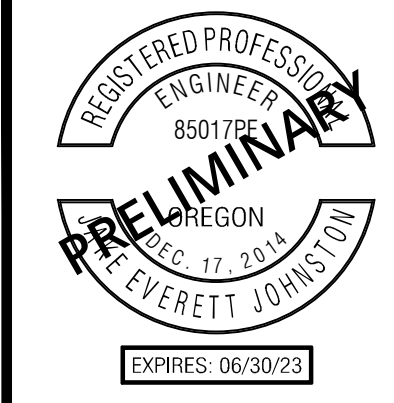
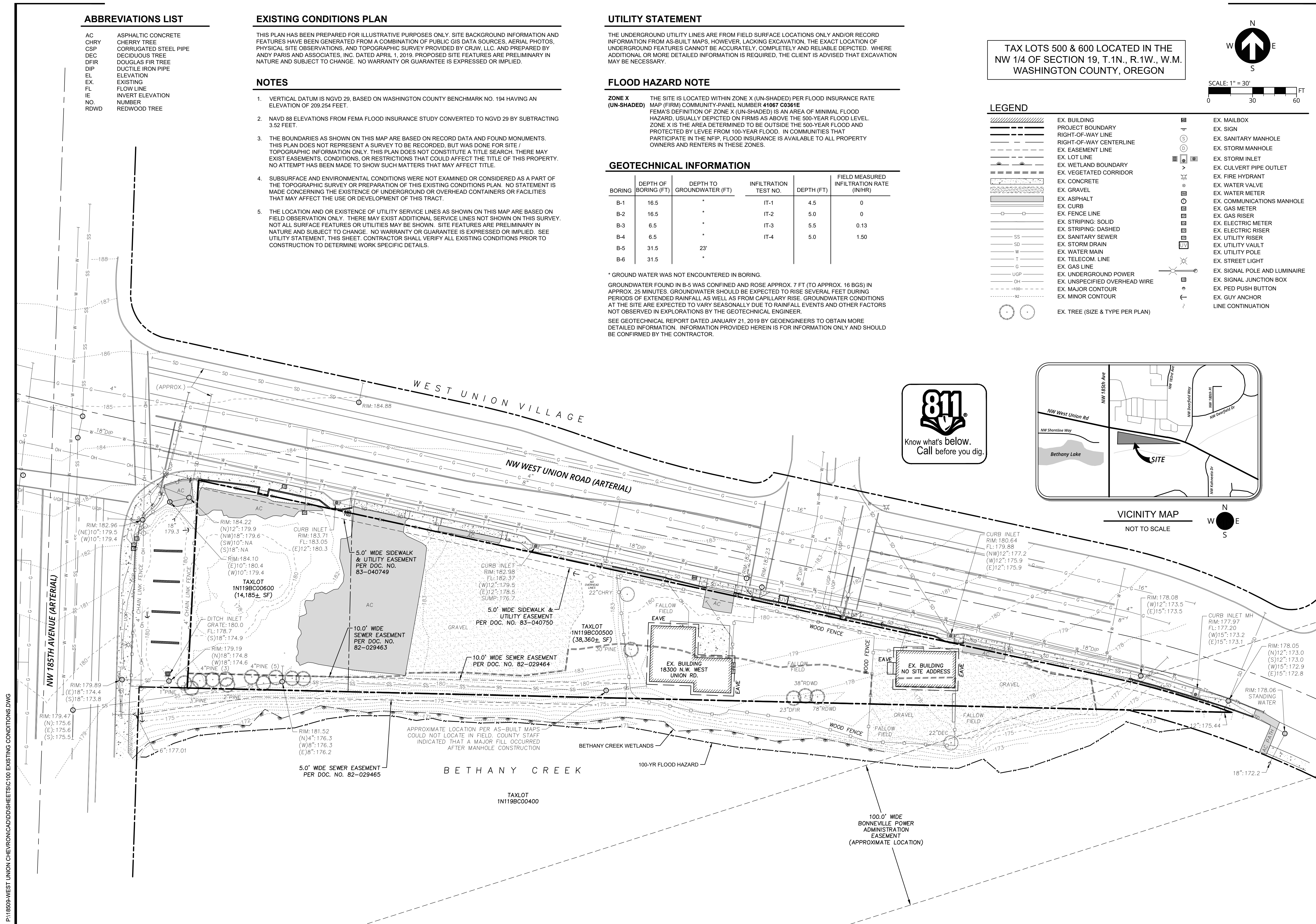
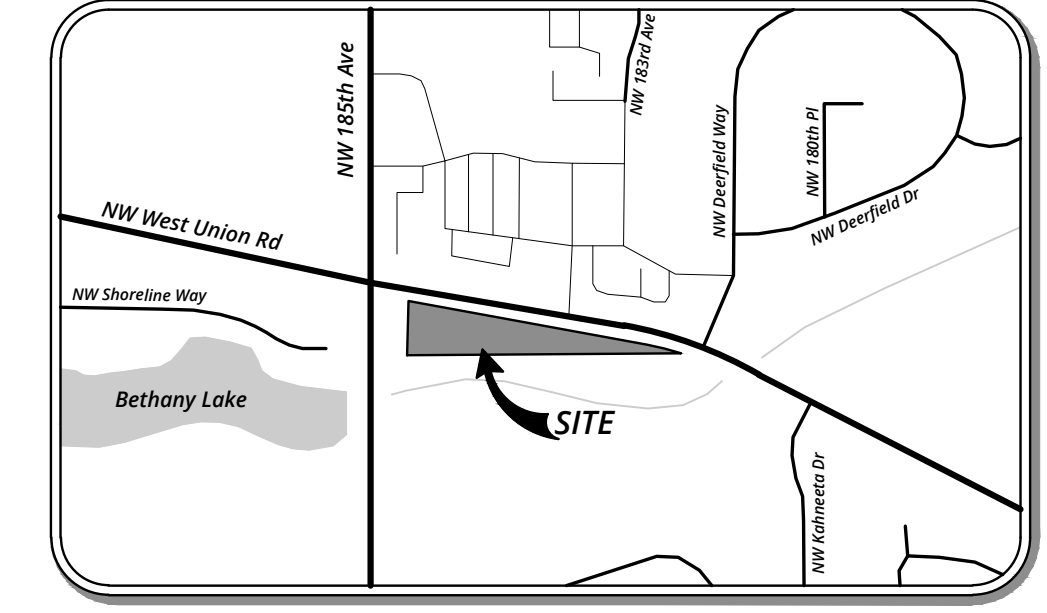
SEE GEOTECHNICAL REPORT DATED JANUARY 21, 2019 BY GEOENGINEERS TO OBTAIN MORE DETAILED INFORMATION. INFORMATION PROVIDED HEREIN IS FOR INFORMATION ONLY AND SHOULD BE CONFIRMED BY THE CONTRACTOR.

TAX LOTS 500 & 600 LOCATED IN THE NW 1/4 OF SECTION 19, T.1N., R.1W., W.M. WASHINGTON COUNTY, OREGON



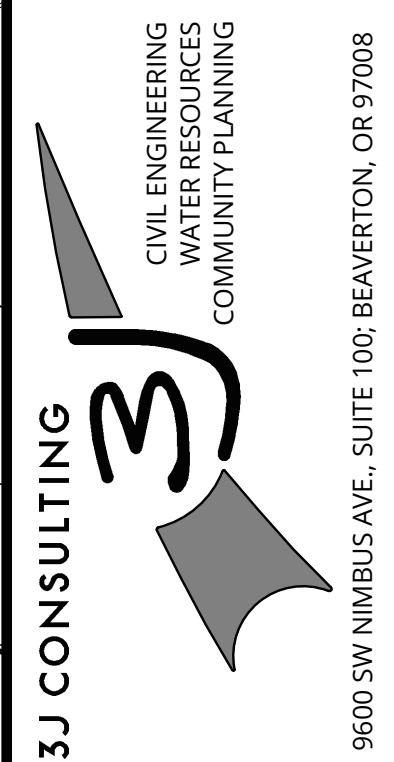
LEGEND

| | | | |
|--|---------------------------------|--|-------------------------------|
| | EX. BUILDING PROJECT BOUNDARY | | EX. MAILBOX |
| | RIGHT-OF-WAY LINE | | EX. SIGN |
| | RIGHT-OF-WAY CENTERLINE | | EX. SANITARY MANHOLE |
| | EX. EASEMENT LINE | | EX. STORM MANHOLE |
| | EX. LOT LINE | | EX. STORM INLET |
| | EX. WETLAND BOUNDARY | | EX. CULVERT PIPE OUTLET |
| | EX. VEGETATED CORRIDOR | | EX. FIRE HYDRANT |
| | EX. CONCRETE | | EX. WATER VALVE |
| | EX. GRAVEL | | EX. WATER METER |
| | EX. ASPHALT | | EX. COMMUNICATIONS MANHOLE |
| | EX. CURB | | EX. GAS METER |
| | EX. FENCE LINE | | EX. GAS RISER |
| | EX. STRIPING: SOLID | | EX. ELECTRIC METER |
| | EX. STRIPING: DASHED | | EX. ELECTRIC RISER |
| | EX. SANITARY SEWER | | EX. UTILITY RISER |
| | EX. STORM DRAIN | | EX. UTILITY VAULT |
| | EX. WATER MAIN | | EX. UTILITY POLE |
| | EX. TELECOM. LINE | | EX. STREET LIGHT |
| | EX. GAS LINE | | EX. SIGNAL POLE AND LUMINAIRE |
| | EX. UNDERGROUND POWER | | EX. SIGNAL JUNCTION BOX |
| | EX. UNSPECIFIED OVERHEAD WIRE | | EX. PED PUSH BUTTON |
| | EX. MAJOR CONTOUR | | EX. GUY ANCHOR |
| | EX. MINOR CONTOUR | | LINE CONTINUATION |
| | EX. TREE (SIZE & TYPE PER PLAN) | | |



PUBLISH DATE
SEPTEMBER 3, 2021
 ISSUED FOR
LAND USE DOCUMENTS
 REVISIONS

EXISTING CONDITIONS PLAN
WEST UNION CHEVRON
 CRJW, LLC
 WASHINGTON COUNTY, OREGON



PROJECT INFORMATION
 3J PROJECT # | 18509
 TAX LOT(S) | 1N119BC00(600,500)
 LAND USE # | --
 DESIGNED BY | JEJ
 CHECKED BY | AJM

SHEET NUMBER
C101

P:\18509-WEST UNION CHEVRON\CADD\SHETS\C100-EXISTING CONDITIONS.DWG

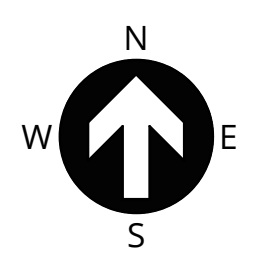
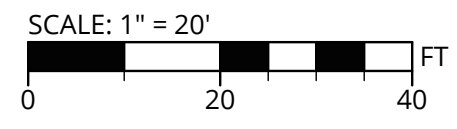


EROSION CONTROL KEY NOTES

- 1 INSTALL SEDIMENT FENCE AT LIMITS OF GRADING.
- 2 INSTALL/MAINTAIN INLET PROTECTION.
- 3 INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- 4 INSTALL/MAINTAIN HIGH VISIBILITY ORANGE CONSTRUCTION FENCING.
- 5 PROPOSED STOCKPILE LOCATION TO BE COVERED WITH PLASTIC SHEETING DURING WET WEATHER AND SURROUNDED BY SEDIMENT CONTROL PERIMETER BARRIER SUCH AS WATTLES.

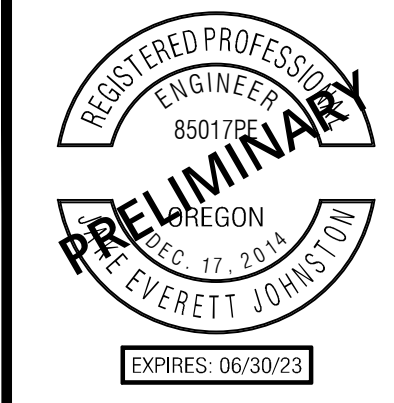
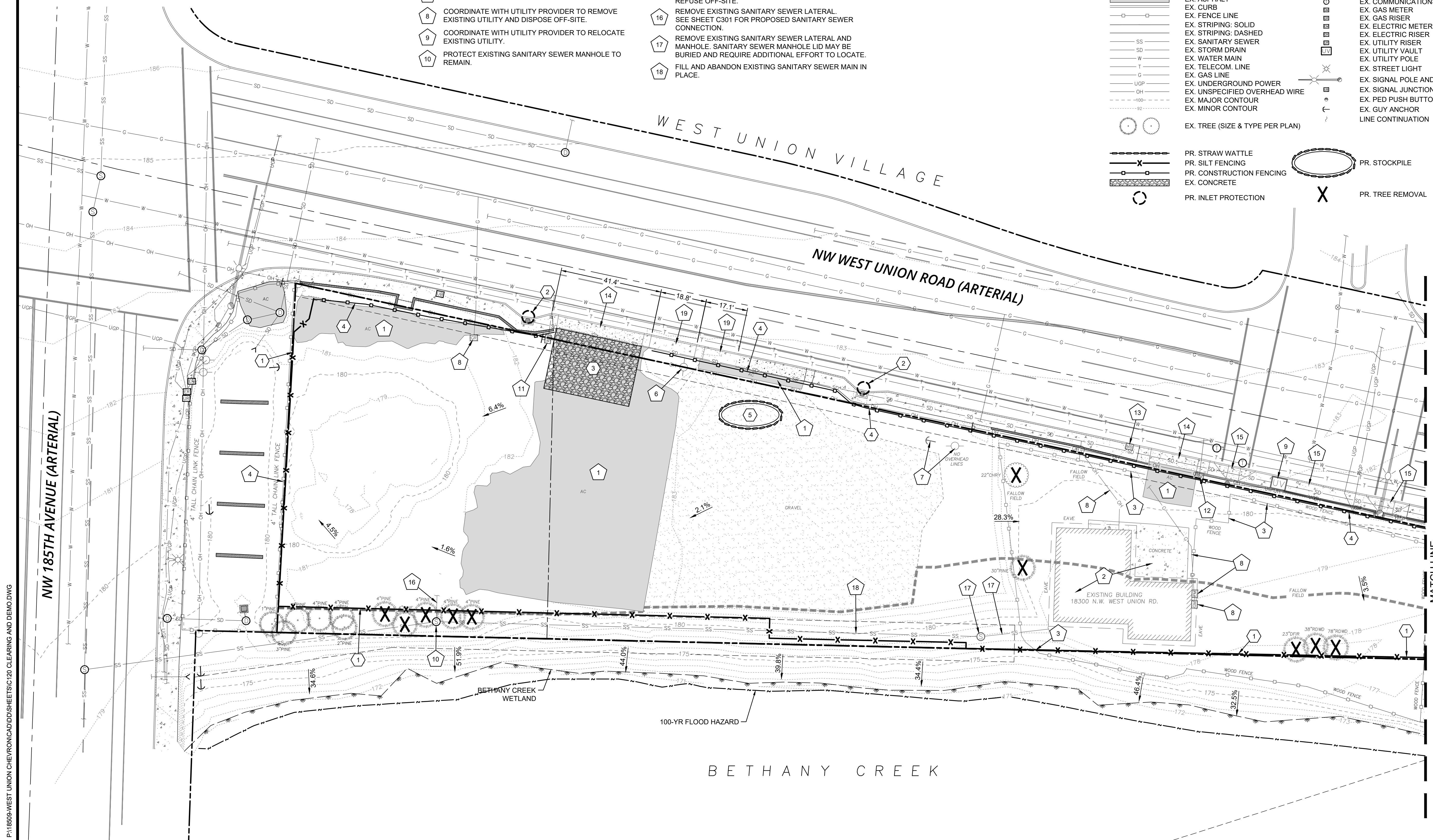
DEMOLITION KEY NOTES

- 1 REMOVE EXISTING HARD SURFACING AND BASE ROCK. DISPOSE OR RUBBLE AND REFUSE OFF-SITE.
- 2 EXISTING BUILDING, FOUNDATION, AND CONCRETE PAD TO BE DEMOLISHED. DEBRIS AND REFUSE TO BE DISPOSED OFF-SITE AT AN APPROVED LOCATION.
- 3 REMOVE EXISTING FENCING AND DISPOSE OFF-SITE.
- 4 PROTECT EXISTING 4' CHAIN LINK FENCE TO REMAIN.
- 5 PROTECT EXISTING PINE TREE TO REMAIN.
- 6 PROTECT EXISTING UTILITY POLE TO REMAIN.
- 7 REMOVE EXISTING UTILITY POLE AND GUY ANCHOR.
- 8 COORDINATE WITH UTILITY PROVIDER TO REMOVE EXISTING UTILITY AND DISPOSE OFF-SITE.
- 9 COORDINATE WITH UTILITY PROVIDER TO RELOCATE EXISTING UTILITY.
- 10 PROTECT EXISTING SANITARY SEWER MANHOLE TO REMAIN.
- 11 TVWD TO KILL EXISTING WATER METER AND CONNECT NEW WATER SERVICE LINE TO NEW WATER METER. SEE SHEET C301 FOR PROPOSED WATER SERVICE LINE CONNECTION.
- 12 TVWD TO KILL EXISTING WATER METER AND SERVICE LINE.
- 13 REMOVE EXISTING MAILBOX SUPPORT.
- 14 UTILIZE EXISTING DRIVEWAY FOR CONSTRUCTION ACCESS PRIOR TO REMOVAL OF EXISTING DEPRESSED DRIVEWAY APPROACH, CURB, AND 1' MIN. OF EXISTING PAVEMENT. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.
- 15 REMOVE EXISTING SIDEWALK, PARALLEL PEDESTRIAN RAMP AND TRUNCATED DOMES, CURB, AND 1' MIN. OF EXISTING PAVEMENT. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.
- 16 REMOVE EXISTING SANITARY SEWER LATERAL. SEE SHEET C301 FOR PROPOSED SANITARY SEWER CONNECTION.
- 17 REMOVE EXISTING SANITARY SEWER LATERAL AND MANHOLE. SANITARY SEWER MANHOLE LID MAY BE BURIED AND REQUIRE ADDITIONAL EFFORT TO LOCATE.
- 18 FILL AND ABANDON EXISTING SANITARY SEWER MAIN IN PLACE.
- 19 REMOVE EXISTING SIDEWALK, CURB, AND DRIVEWAY APPROACH TO LIMITS SHOWN. REMOVE 1' MIN. OF EXISTING PAVEMENT. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.



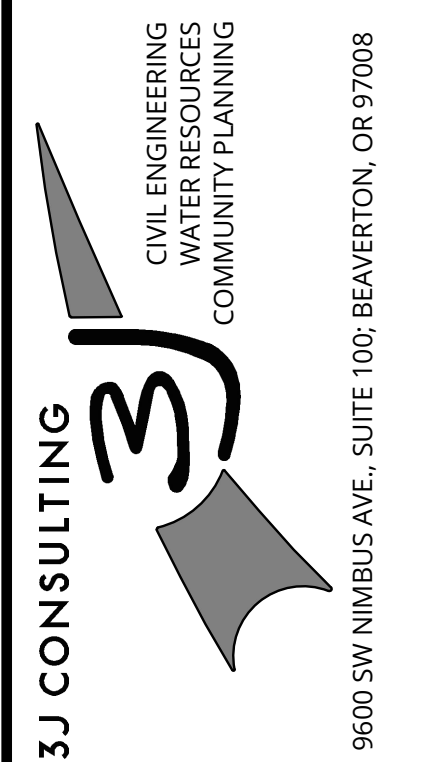
LEGEND

| | | | |
|--|---------------------------------|--|-------------------------------|
| | EX. BUILDING | | EX. MAILBOX |
| | PROJECT BOUNDARY | | EX. SIGN |
| | RIGHT-OF-WAY LINE | | EX. SANITARY MANHOLE |
| | RIGHT-OF-WAY CENTERLINE | | EX. STORM MANHOLE |
| | EX. EASEMENT LINE | | EX. STORM INLET |
| | EX. LOT LINE | | EX. CULVERT PIPE OUTLET |
| | EX. WETLAND BOUNDARY | | EX. FIRE HYDRANT |
| | EX. VEGETATED CORRIDOR | | EX. WATER VALVE |
| | EX. CONCRETE | | EX. WATER METER |
| | EX. GRAVEL | | EX. COMMUNICATIONS MANHOLE |
| | EX. ASPHALT | | EX. GAS METER |
| | EX. CURB | | EX. GAS RISER |
| | EX. FENCE LINE | | EX. ELECTRIC METER |
| | EX. STRIPING: SOLID | | EX. ELECTRIC RISER |
| | EX. STRIPING: DASHED | | EX. UTILITY RISER |
| | EX. SANITARY SEWER | | EX. UTILITY VAULT |
| | EX. STORM DRAIN | | EX. UTILITY POLE |
| | EX. WATER MAIN | | EX. STREET LIGHT |
| | EX. TELECOM. LINE | | EX. SIGNAL POLE AND LUMINAIRE |
| | EX. GAS LINE | | EX. SIGNAL JUNCTION BOX |
| | EX. UNDERGROUND POWER | | EX. PED PUSH BUTTON |
| | EX. UNSPECIFIED OVERHEAD WIRE | | EX. GUY ANCHOR |
| | EX. MAJOR CONTOUR | | LINE CONTINUATION |
| | EX. MINOR CONTOUR | | |
| | EX. TREE (SIZE & TYPE PER PLAN) | | |
| | PR. STRAW WATTLE | | PR. STOCKPILE |
| | PR. SILT FENCING | | PR. TREE REMOVAL |
| | PR. CONSTRUCTION FENCING | | |
| | EX. CONCRETE | | |
| | PR. INLET PROTECTION | | |



PUBLISH DATE
SEPTEMBER 3, 2021
ISSUED FOR
LAND USE DOCUMENTS
REVISIONS

DEMOLITION AND ESCP
WEST UNION CHEVRON
CRJW, LLC
WASHINGTON COUNTY, OREGON



PROJECT INFORMATION
3J PROJECT # | 18509
TAX LOT(S) | 1N119BC00(600,500)
LAND USE # | --
DESIGNED BY | JEJ
CHECKED BY | AJM

SHEET NUMBER
C121

P:\18509-WEST UNION CHEVRON\CADD\SHEETS\C120 CLEARING AND DEMO.DWG



EROSION CONTROL KEY NOTES

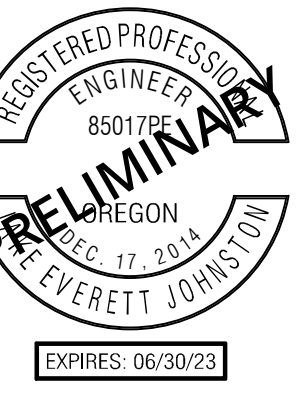
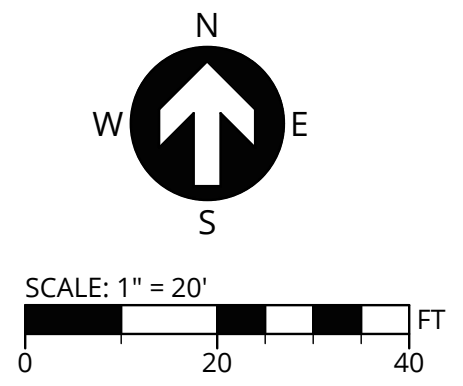
- 1 INSTALL SEDIMENT FENCE AT LIMITS OF GRADING.
- 2 INSTALL/MAINTAIN INLET PROTECTION.
- 3 INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- 4 INSTALL/MAINTAIN HIGH VISIBILITY ORANGE CONSTRUCTION FENCING.
- 5 PROPOSED STOCKPILE LOCATION TO BE COVERED WITH PLASTIC SHEETING DURING WET WEATHER AND SURROUNDED BY SEDIMENT CONTROL PERIMETER BARRIER SUCH AS WATTLES.

DEMOLITION KEY NOTES

- 1 REMOVE EXISTING HARD SURFACING AND BASE ROCK. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.
- 2 EXISTING BUILDING, FOUNDATION, AND CONCRETE PAD TO BE DEMOLISHED. DEBRIS AND REFUSE TO BE DISPOSED OFF-SITE AT AN APPROVED LOCATION.
- 3 REMOVE EXISTING FENCING AND DISPOSE OFF-SITE.
- 4 COORDINATE WITH UTILITY PROVIDER TO REMOVE EXISTING UTILITY AND DISPOSE OFF-SITE.
- 5 REMOVE EXISTING SIDEWALK ENDING, CURB, AND ASPHALT PATHWAY TO LIMITS SHOWN. REMOVE 1' MIN. OF EXISTING PAVEMENT. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.
- 6 REMOVE 1' MIN. OF EXISTING ONSITE GRAVEL DRIVEWAY FOR VEGETATED CORRIDOR ENHANCEMENT AND CREATION. DISPOSE OF RUBBLE AND REFUSE OFF-SITE.

LEGEND

| | | | |
|--|---------------------------------|--|-------------------------------|
| | EX. BUILDING | | EX. MAILBOX |
| | PROJECT BOUNDARY | | EX. SIGN |
| | RIGHT-OF-WAY LINE | | EX. SANITARY MANHOLE |
| | RIGHT-OF-WAY CENTERLINE | | EX. STORM MANHOLE |
| | EX. EASEMENT LINE | | EX. STORM INLET |
| | EX. LOT LINE | | EX. FIRE HYDRANT |
| | EX. WETLAND BOUNDARY | | EX. CULVERT PIPE OUTLET |
| | EX. VEGETATED CORRIDOR | | EX. WATER VALVE |
| | EX. CONCRETE | | EX. WATER METER |
| | EX. GRAVEL | | EX. COMMUNICATIONS MANHOLE |
| | EX. ASPHALT | | EX. GAS METER |
| | EX. CURB | | EX. GAS RISER |
| | EX. FENCE LINE | | EX. ELECTRIC METER |
| | EX. STRIPING: SOLID | | EX. ELECTRIC RISER |
| | EX. STRIPING: DASHED | | EX. UTILITY RISER |
| | EX. SANITARY SEWER | | EX. UTILITY VAULT |
| | EX. STORM DRAIN | | EX. UTILITY POLE |
| | EX. WATER MAIN | | EX. STREET LIGHT |
| | EX. TELECOM. LINE | | EX. SIGNAL POLE AND LUMINAIRE |
| | EX. GAS LINE | | EX. SIGNAL JUNCTION BOX |
| | EX. UNDERGROUND POWER | | EX. PED PUSH BUTTON |
| | EX. UNSPECIFIED OVERHEAD WIRE | | EX. GUY ANCHOR |
| | EX. MAJOR CONTOUR | | LINE CONTINUATION |
| | EX. MINOR CONTOUR | | |
| | EX. TREE (SIZE & TYPE PER PLAN) | | |
| | PR. STRAW WATTLE | | PR. STOCKPILE |
| | PR. SILT FENCING | | PR. TREE REMOVAL |
| | PR. CONSTRUCTION FENCING | | |
| | EX. CONCRETE | | |
| | PR. INLET PROTECTION | | |

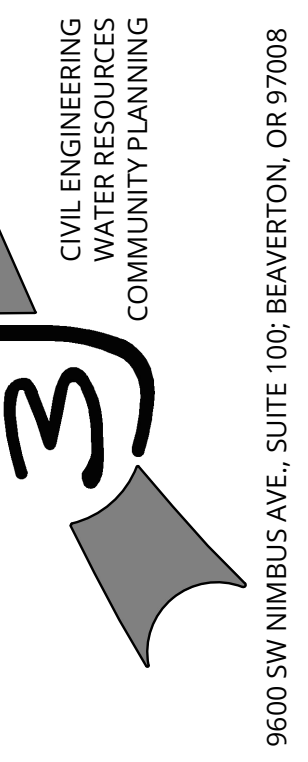


PUBLISH DATE
SEPTEMBER 3, 2021

ISSUED FOR
LAND USE DOCUMENTS

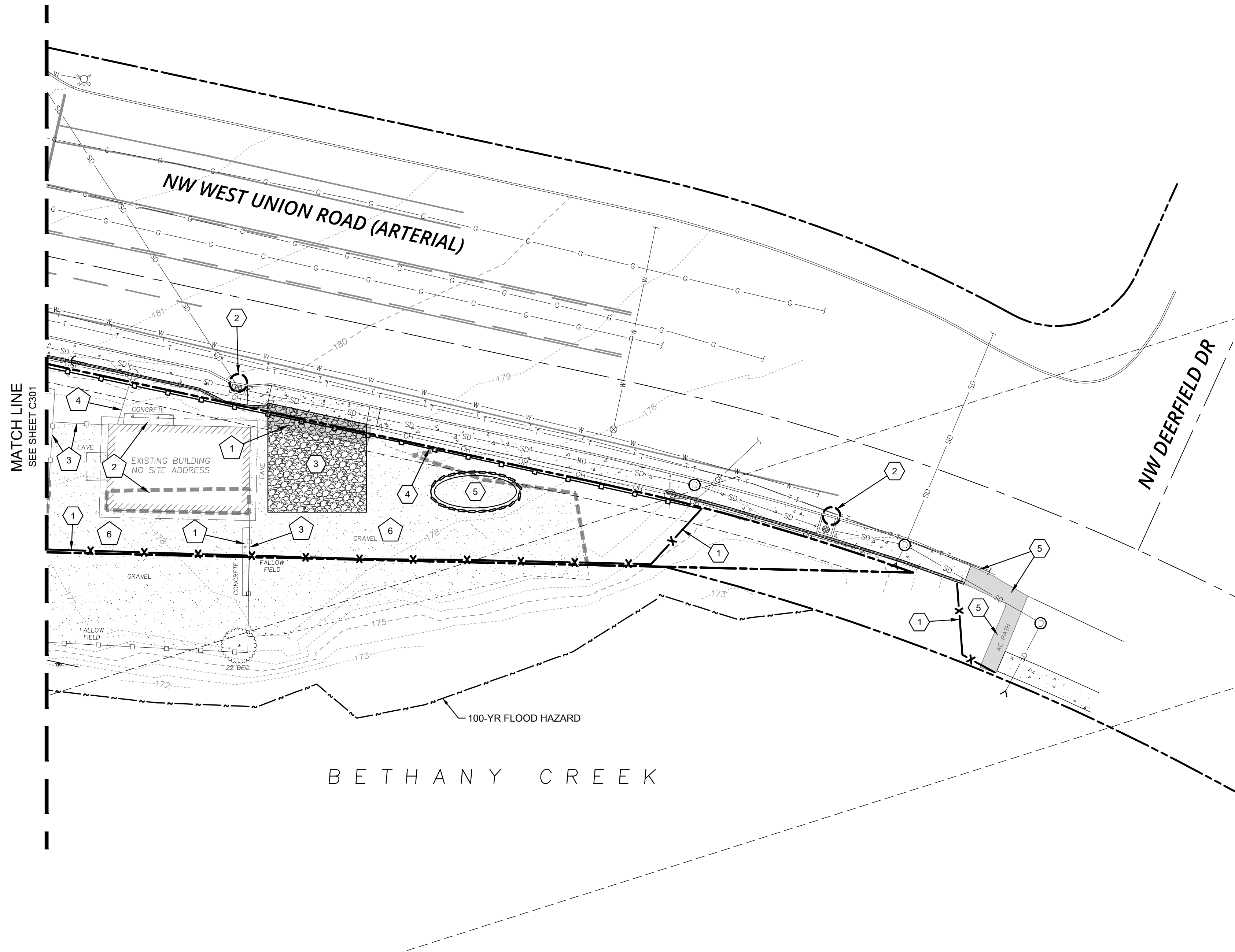
REVISIONS

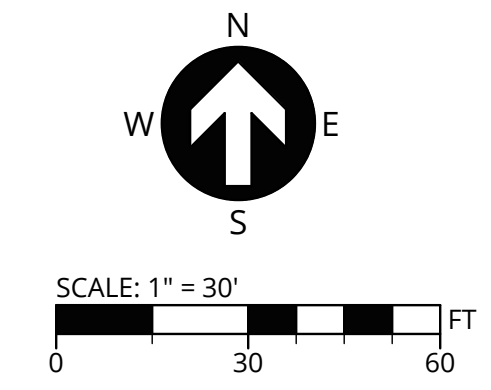
DEMOLITION AND ESCP
WEST UNION CHEVRON
CRJW, LLC
WASHINGTON COUNTY, OREGON



PROJECT INFORMATION
3J PROJECT # | 18509
TAX LOT(S) | 1N119BC00(600,500)
LAND USE # | --
DESIGNED BY | JEJ
CHECKED BY | AJM

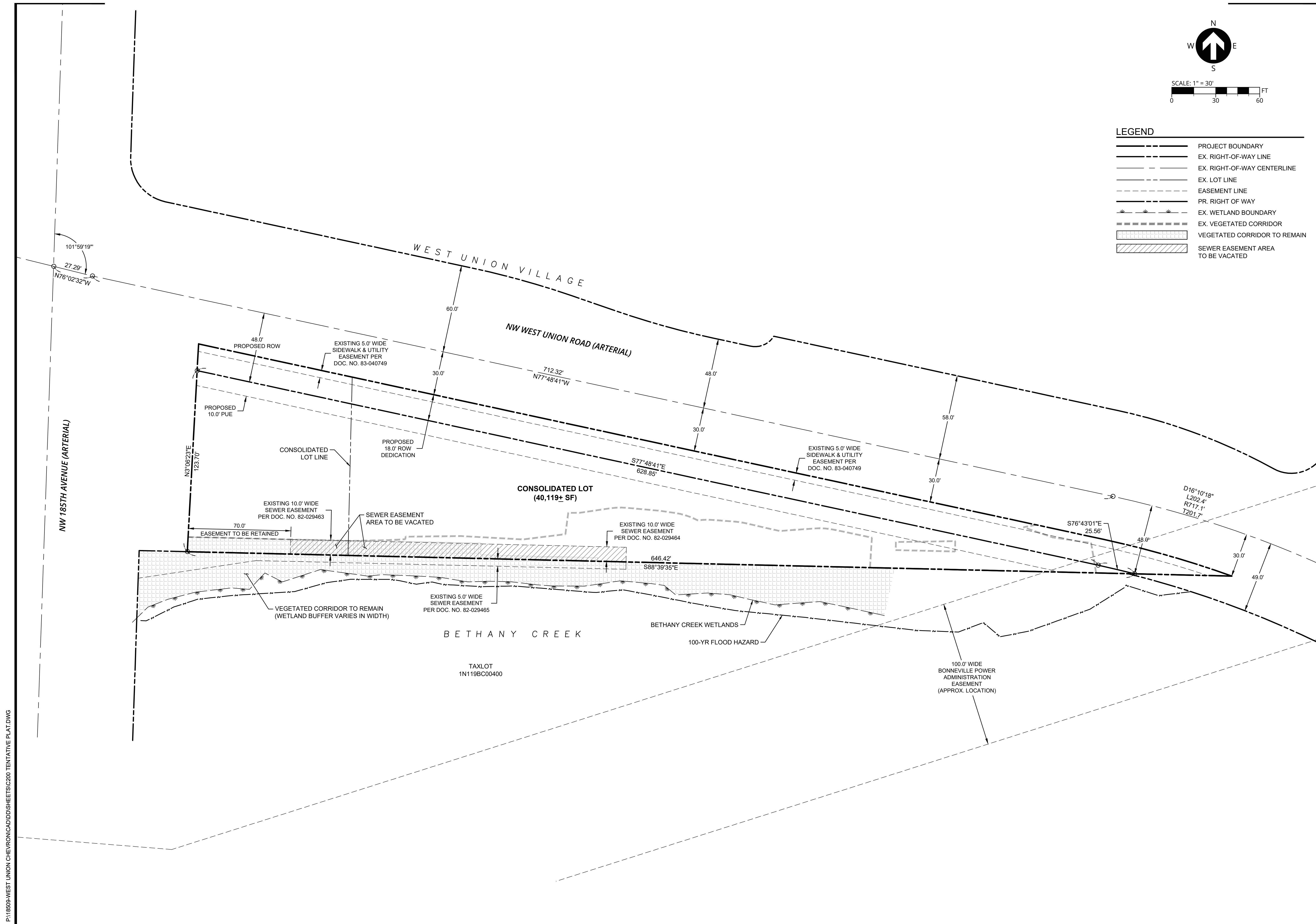
SHEET NUMBER
C122





PUBLISH DATE
SEPTEMBER 3, 2021
 ISSUED FOR
LAND USE DOCUMENTS
 REVISIONS

| LEGEND | |
|--------|-----------------------------------|
| | PROJECT BOUNDARY |
| | EX. RIGHT-OF-WAY LINE |
| | EX. RIGHT-OF-WAY CENTERLINE |
| | EX. LOT LINE |
| | EASEMENT LINE |
| | PR. RIGHT OF WAY |
| | EX. WETLAND BOUNDARY |
| | EX. VEGETATED CORRIDOR |
| | VEGETATED CORRIDOR TO REMAIN |
| | SEWER EASEMENT AREA TO BE VACATED |



TENTATIVE PLAT
WEST UNION CHEVRON
 CRJW, LLC
 WASHINGTON COUNTY, OREGON

3J CONSULTING
 CIVIL ENGINEERING
 WATER RESOURCES
 COMMUNITY PLANNING
 9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION
 3J PROJECT # | 18509
 TAX LOT(S) | 1N119BC00(600,500)
 LAND USE # | --
 DESIGNED BY | JEJ
 CHECKED BY | AJM

SHEET NUMBER
C201

P:\18509-WEST UNION CHEVRON\CADD\SHSHEETS\C200 TENTATIVE PLAT.DWG



SITE STATISTICS

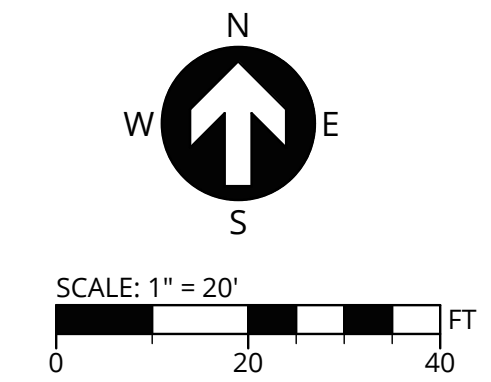
| | |
|--------------------------|---|
| SITE ADDRESS | 18450 NW WEST UNION ROAD BEAVERTON, OR 97229 |
| TAXLOT(S) | 1N119BC00600 1N119BC00500 |
| JURISDICTION | WASHINGTON COUNTY |
| GROSS SITE AREA | 1.21 ACRES |
| PROPERTY ZONING | NEIGHBORHOOD COMMERCIAL (NC) |
| FLOOD INSURANCE RATE MAP | 41067C0361E |
| PROPOSED BUILDING FFE | 182,26-SF |

VARIATIONS

| BUILDING SETBACKS: | STANDARD | VARIATION |
|--------------------------------|----------|--------------|
| FRONT (NW 185TH AVE) | 20 FT | 2.0 FT MIN. |
| STREET SIDE (NW WEST UNION RD) | 20 FT | 10.0 FT MIN. |
| SIDE YARD (BETHANY CREEK) | 0 FT | NA |
| REAR | 20 FT | NA |

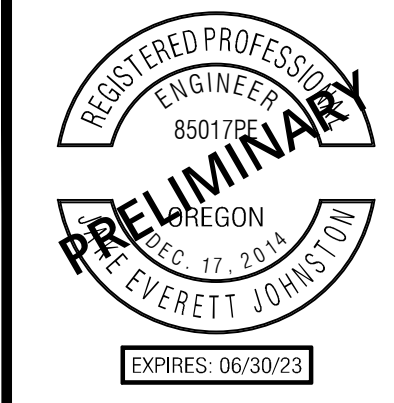
SITE KEY NOTES

- 1 PROPOSED PLANTER CURB (6" EXPOSURE AND WEEP HOLES).
- 1A PROPOSED PLANTER CURB ADJACENT TO RAISED CONCRETE ISLAND (2' EXPOSURE).
- 2 PROPOSED STANDARD CURB (6" EXPOSURE).
- 3 PROPOSED CURB AND GUTTER (18" GUTTER PAN).
- 4 PROPOSED CONCRETE SIDEWALK, WIDTH PER PLAN.
- 4A CONCRETE SIDEWALK TO BE FLUSH WITH CONCRETE SLAB AT FRONT OF BUILDING.
- 4B PROPOSED ACCESSIBLE PEDESTRIAN CONNECTION TO PUBLIC SIDEWALK.
- 5 PROPOSED 5' CURBTIGHT SIDEWALK AND STANDARD CURB TO REPLACE EXISTING DEPRESSED DRIVEWAY APPROACH.
- 6A PROPOSED 43' WIDE CURBTIGHT COMMERCIAL DRIVEWAY.
- 6B RECONSTRUCT AND WIDEN CURBTIGHT COMMERCIAL DRIVEWAY TO LIMITS SHOWN. MATCH CURB EXPOSURE OF EXISTING DRIVEWAY APPROACH.
- 7 PROPOSED ADA SIDEWALK RAMP.
- 8 PROPOSED CONCRETE SLAB.
- 9 PROPOSED 4' WIDE CONCRETE VALLEY GUTTER.
- 10 PROPOSED WHEEL STOP, TYPICAL - 8 THIS SHEET.
- 11 PROPOSED RETAINING WALL WITH 6-FT PRIVACY WOOD FENCE INSTALLED ON TOP. (2.5' MIN. TO 5.0' MAX. WALL HEIGHT).
- 12 NOTE NOT USED.
- 13 PROPOSED SIGN - "DO NOT ENTER" (FOR RIGHT-IN ONLY).
- 14 PROPOSED SIGN - INTERNATIONAL SYMBOL OF ACCESSIBILITY AND DESIGNATION, "VAN ACCESSIBLE".
- 15 SEE ARCHITECTURAL PLANS FOR TRASH ENCLOSURE INFORMATION.
- 16 SEE PETROLEUM PLANS FOR UNDERGROUND FUEL TANK AND PUMP INFORMATION. PROVIDE 10' SEPARATION FROM EDGE OF TANK TO EDGE OF PUE.
- 17 SEE ARCHITECTURAL PLANS FOR PROPOSED BUILDING INFORMATION.
- 18 SEE ARCHITECTURAL PLANS FOR PROPOSED CANOPY INFORMATION.
- 19 PROPOSED 4-LEGGED INTERSECTION. EXISTING 3-LEGGED INTERSECTION TRAFFIC SIGNAL EQUIPMENT TO BE MODIFIED.
- 20 PROPOSED BOLLARD AT BUILDING FRONT FOR EACH PARKING STALL.
- 21 PROPOSED BIKE PARKING. 4 @ 6.0' x 22"
- 22 PROPOSED POLE MOUNT FACILITY IDENTIFICATION SIGNAGE
- 23 PROPOSED MONUMENT SIGN
- 24 PROPOSED 1-FT WIDE LOW PROFILE MOUNTABLE CURB (0" EXPOSURE) AT A 1V:4H SLOPE AND RAISED CONCRETE ISLAND TO ACCOMMODATE FUEL TRUCK ACCESS TO SITE. CURB TO BE PAINTED YELLOW WITH TYPE 1 BI-DIRECTIONAL RAISED PAVEMENT MARKERS. CONCRETE ISLAND TO INCLUDE YELLOW DIAGONAL STRIPING TO DISCOURAGE WESTBOUND VEHICLES TO TURN LEFT INTO SITE AS SHOWN.
- 25 PROPOSED LANDSCAPE ISLANDS WITHIN PARKING AREA
A = 77 SF, B = 55 SF, C = 51 SF



LEGEND

- PROJECT BOUNDARY
- EX. RIGHT-OF-WAY LINE
- EX. RIGHT-OF-WAY CENTERLINE
- PR. RIGHT OF WAY
- PR. EASEMENT LINE
- BUILDING SETBACK LINE
- EX. WETLAND BOUNDARY
- EX. VEGETATED CORRIDOR
- PROPOSED CURB FACE
- PROPOSED CURB BACK
- PROPOSED LIP OF GUTTER
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LANDSCAPE ISLAND
- PROPOSED BUILDING LINE
- PROPOSED FENCE/VEHICLE BARRIER
- PROPOSED RETAINING WALL
- ADA PARKING SYMBOL
- PROPOSED STRIPING



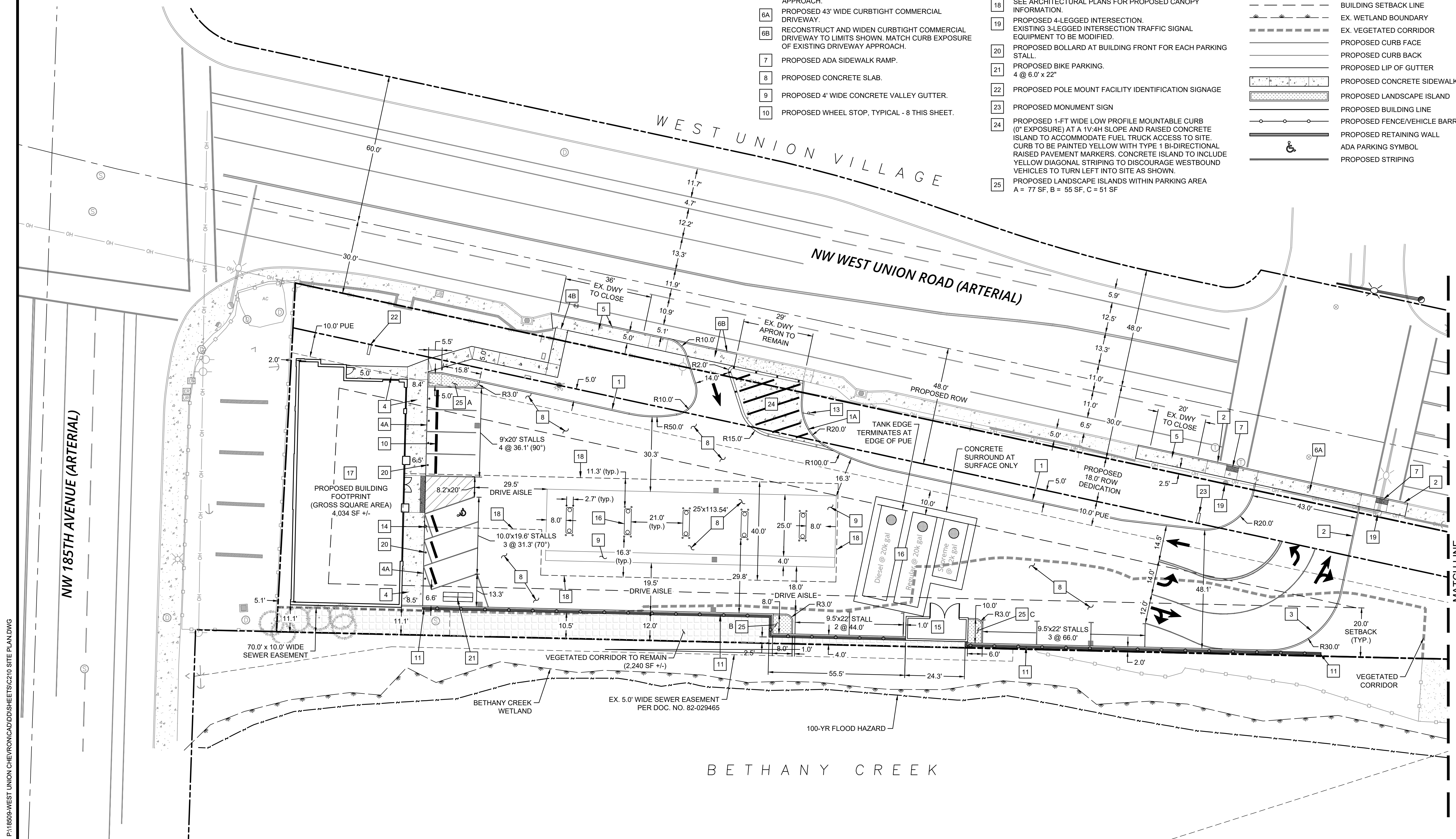
PUBLISH DATE
SEPTEMBER 3, 2021
ISSUED FOR
LAND USE DOCUMENTS
REVISIONS

PRELIMINARY SITE PLAN
WEST UNION CHEVRON
CRJW, LLC
WASHINGTON COUNTY, OREGON

3J CONSULTING
CIVIL ENGINEERING
WATER RESOURCES
COMMUNITY PLANNING
9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION
3J PROJECT # | 18509
TAX LOT(S) | 1N119BC00(600,500)
LAND USE # | --
DESIGNED BY | JEJ
CHECKED BY | AJM

SHEET NUMBER
C211

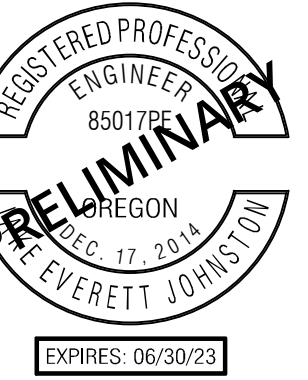
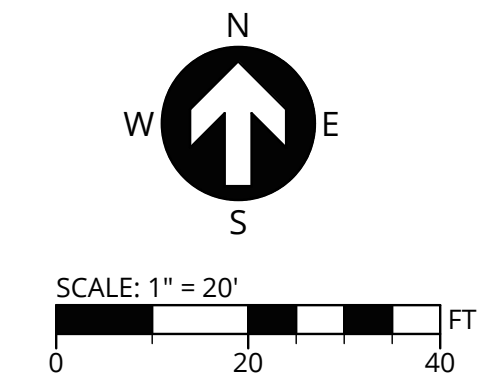


P:\18509-WEST UNION CHEVRON\CADD\SHS\210 SITE PLAN.DWG



SITE KEY NOTES

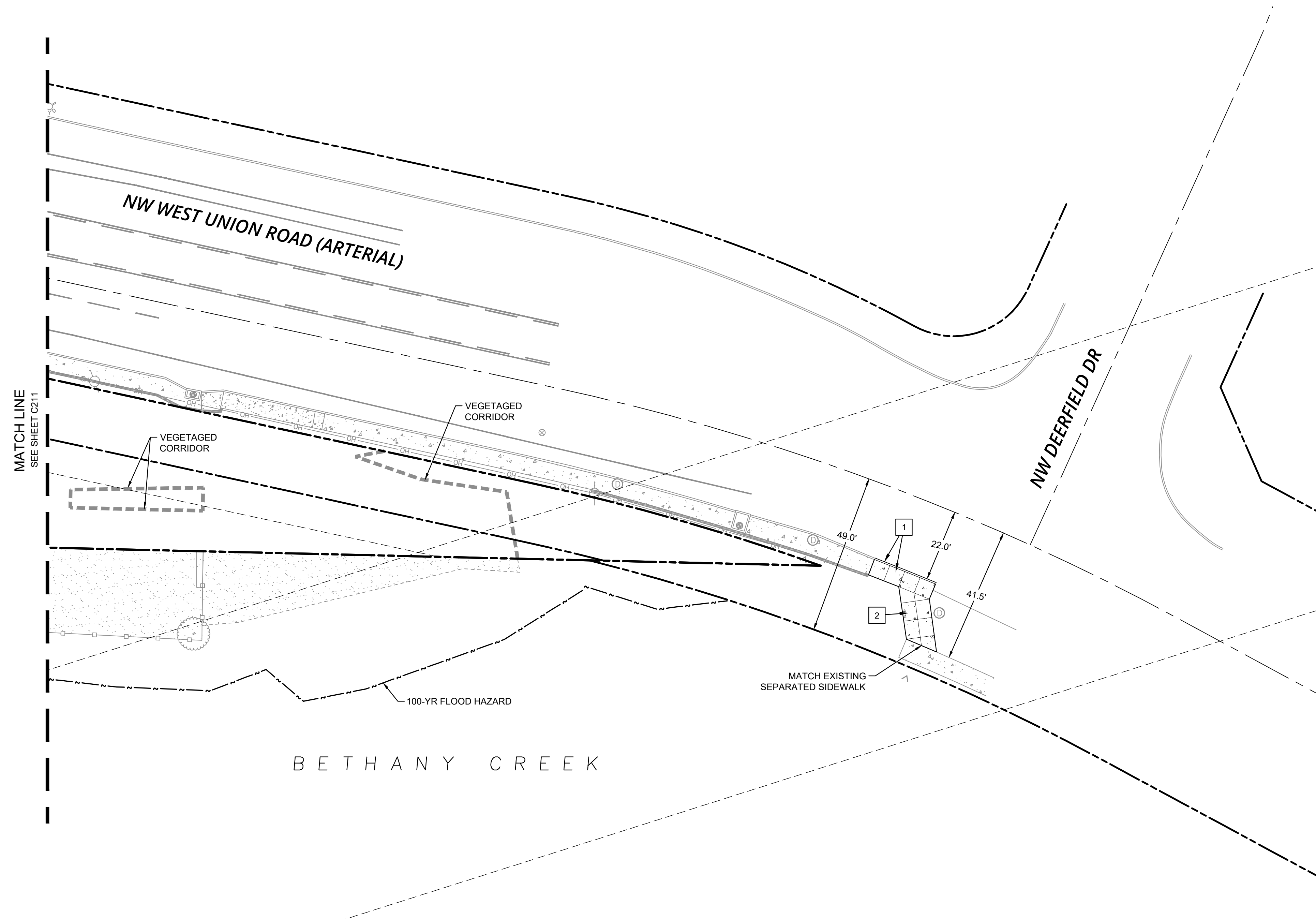
- 1 PROPOSED 5' CURBTIGHT SIDEWALK AND STANDARD CURB (6" EXPOSURE).
- 2 PROPOSED CURBTIGHT SIDEWALK TO SEPARATED SIDEWALK CONNECTION.



LEGEND

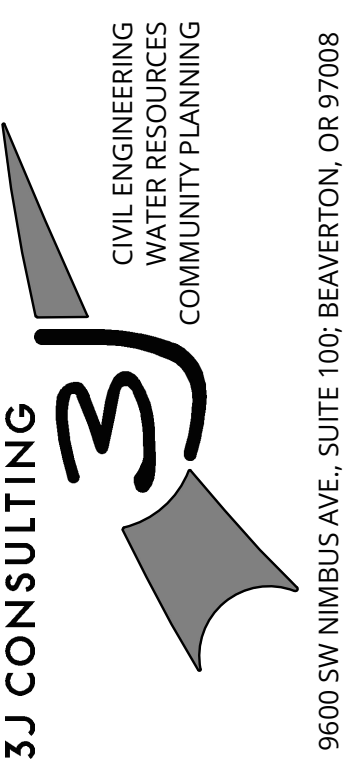
| | |
|--|-----------------------------|
| | PROJECT BOUNDARY |
| | EX. RIGHT-OF-WAY LINE |
| | EX. RIGHT-OF-WAY CENTERLINE |
| | PR. RIGHT OF WAY |
| | PR. EASEMENT LINE |
| | BUILDING SETBACK LINE |
| | EX. WETLAND BOUNDARY |
| | EX. VEGETATED CORRIDOR |
| | PROPOSED CURB FACE |
| | PROPOSED CURB BACK |
| | PROPOSED CONCRETE SIDEWALK |

PUBLISH DATE
SEPTEMBER 3, 2021
ISSUED FOR
LAND USE DOCUMENTS
REVISIONS



PRELIMINARY SITE PLAN
WEST UNION CHEVRON

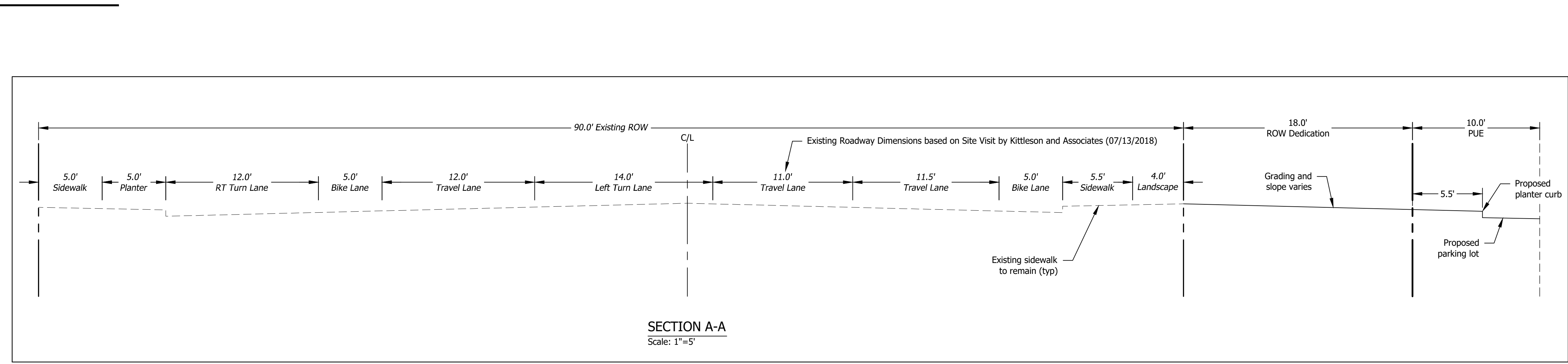
CRJW, LLC
WASHINGTON COUNTY, OREGON



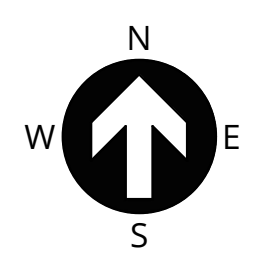
PROJECT INFORMATION
3J PROJECT # | 18509
TAX LOT(S) | 1N119BC00(600,500)
LAND USE # | --
DESIGNED BY | JEJ
CHECKED BY | AJM

SHEET NUMBER
C212

P:\18509-WEST UNION CHEVRON\CADD\SHEETS\C210 SITE PLAN.DWG



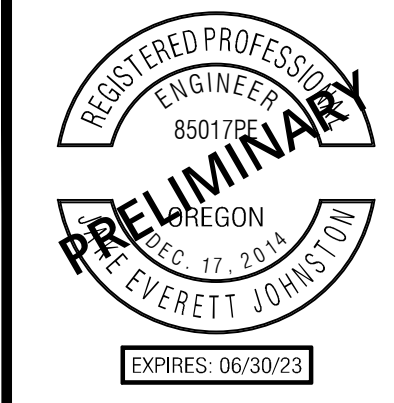
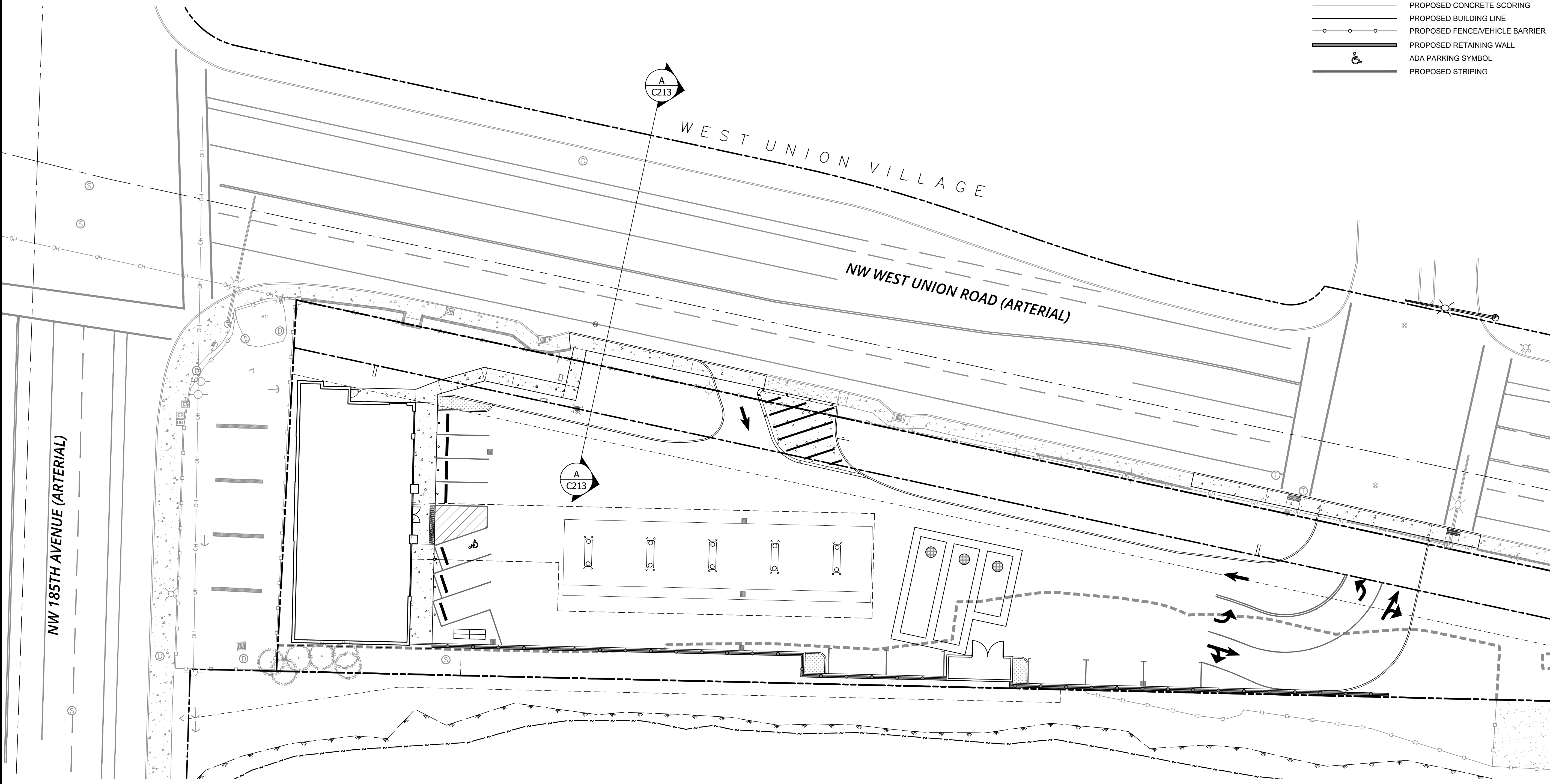
SECTION A-A
Scale: 1"=5'



SCALE: 1" = 20'
0 20 40 FT

LEGEND

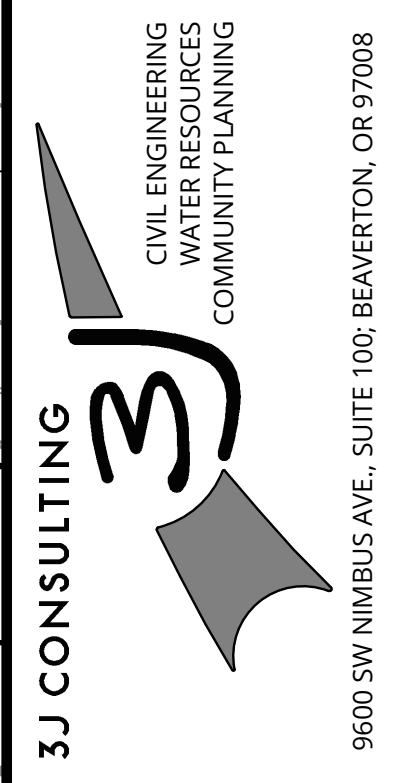
- PROJECT BOUNDARY
- EX. RIGHT-OF-WAY LINE
- EX. RIGHT-OF-WAY CENTERLINE
- PR. RIGHT OF WAY
- PR. EASEMENT LINE
- BUILDING SETBACK LINE
- EX. WETLAND BOUNDARY
- EX. VEGETATED CORRIDOR
- PROPOSED CURB FACE
- PROPOSED CURB BACK
- PROPOSED LIP OF GUTTER
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE SCORING
- PROPOSED BUILDING LINE
- PROPOSED FENCE/VEHICLE BARRIER
- PROPOSED RETAINING WALL
- ADA PARKING SYMBOL
- PROPOSED STRIPING



PUBLISH DATE
SEPTEMBER 3, 2021
ISSUED FOR
LAND USE DOCUMENTS
REVISIONS

WEST UNION ROAD CROSS SECTION
WEST UNION CHEVRON

CRJW, LLC
WASHINGTON COUNTY, OREGON

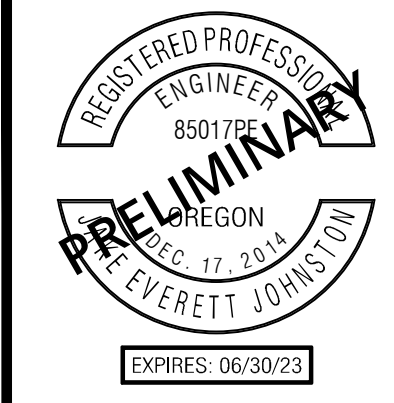
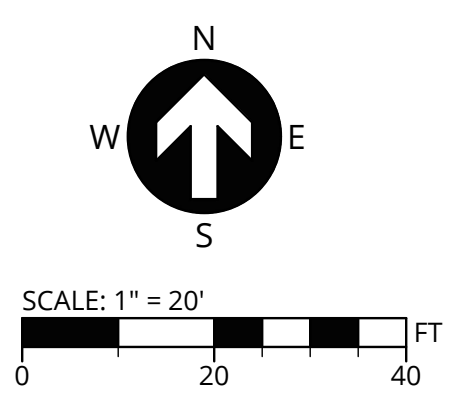


PROJECT INFORMATION
3J PROJECT # | 18509
TAX LOT(S) | 1N119BC00(600,500)
LAND USE # | --
DESIGNED BY | JEJ
CHECKED BY | AJM

SHEET NUMBER
C213



THIS PLAN HAS BEEN PREPARED FOR PLANNING AND ILLUSTRATIVE PURPOSES ONLY. THIS CIRCULATION PLAN SHOWS PROPOSED ON-SITE VEHICULAR AND PEDESTRIAN CIRCULATION AND CHANNELIZATION .



PUBLISH DATE
SEPTEMBER 3, 2021
ISSUED FOR
LAND USE DOCUMENTS
REVISIONS

LEGEND

| | |
|--|-----------------------------|
| | PROJECT BOUNDARY |
| | EX. RIGHT-OF-WAY LINE |
| | EX. RIGHT-OF-WAY CENTERLINE |
| | PR. RIGHT OF WAY |
| | PR. EASEMENT LINE |
| | EX. WETLAND BOUNDARY |
| | PR. PEDESTRIAN CIRCULATION |
| | PR. VEHICULAR CIRCULATION |

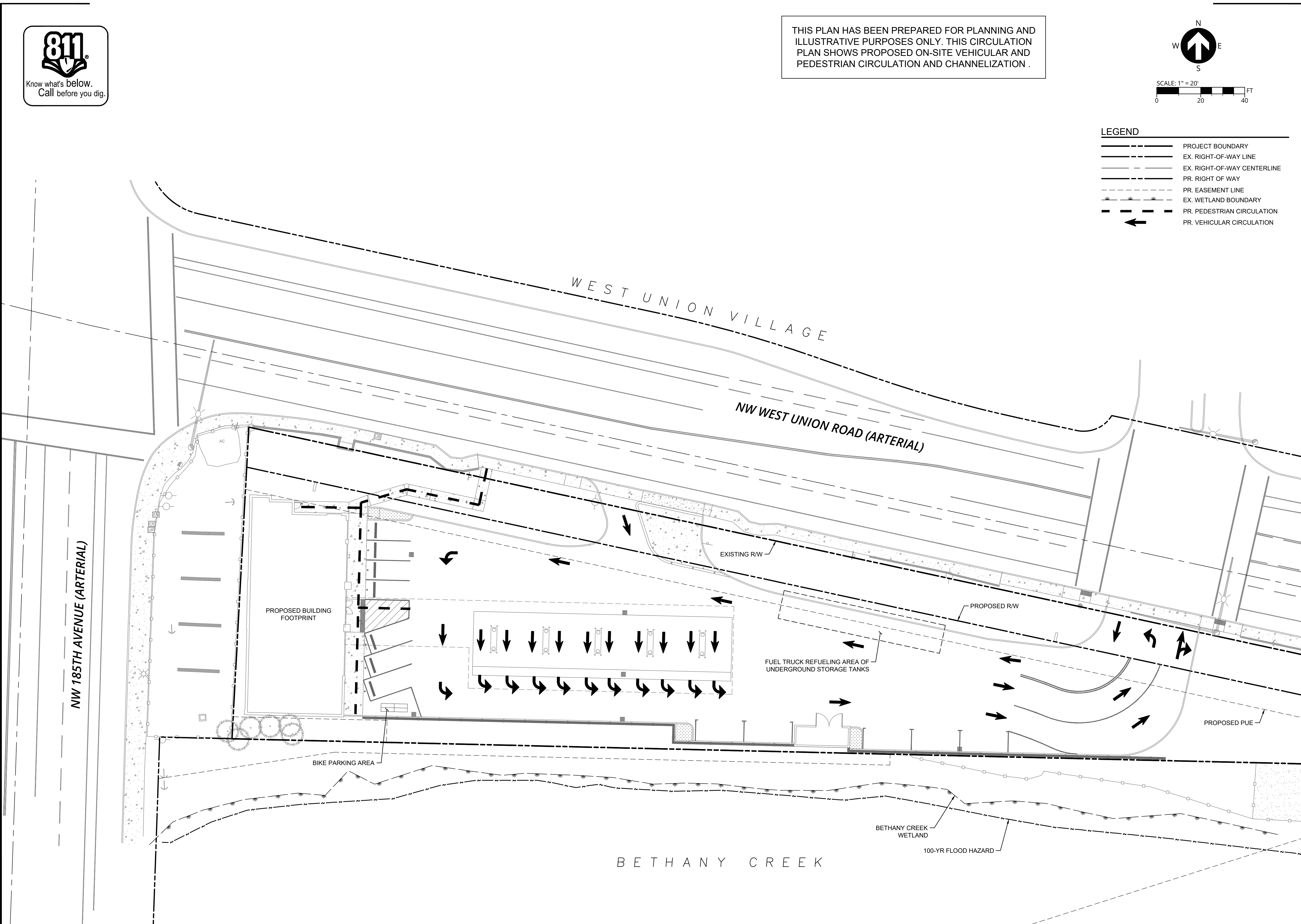
CIRCULATION PLAN
WEST UNION CHEVRON
 CRJW, LLC
 WASHINGTON COUNTY, OREGON

P:\18509-WEST UNION CHEVRON\CADD\SHEETS\C222 CIRCULATION PLAN.DWG

3J CONSULTING
 CIVIL ENGINEERING
 WATER RESOURCES
 COMMUNITY PLANNING
 9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

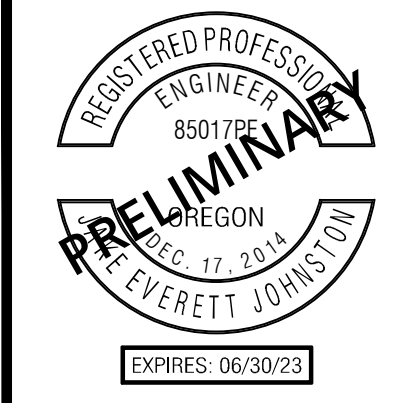
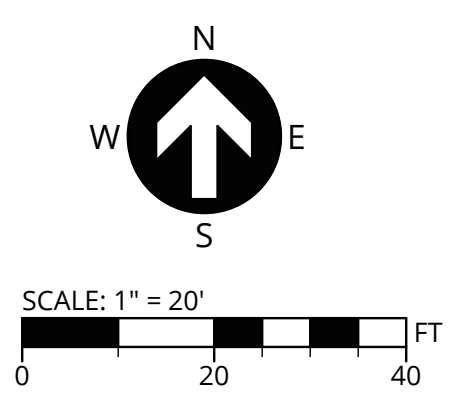
PROJECT INFORMATION
 3J PROJECT # | 18509
 TAX LOT(S) | 1N119BC00(600,500)
 LAND USE # | --
 DESIGNED BY | JEJ
 CHECKED BY | AJM

SHEET NUMBER
C222





THIS PLAN HAS BEEN PREPARED FOR PLANNING AND ILLUSTRATIVE PURPOSES ONLY. THIS FIRE ACCESS PLAN SHOWS PROPOSED FIRE HOSE LINE PULL EXTENTS FROM ASSUMED FIRE TRUCK ACCESS LOCATIONS AND EXISTING HYDRANT COVERAGE.



PUBLISH DATE
SEPTEMBER 3, 2021
ISSUED FOR
LAND USE DOCUMENTS
REVISIONS

FIRE HYDRANT KEY NOTES

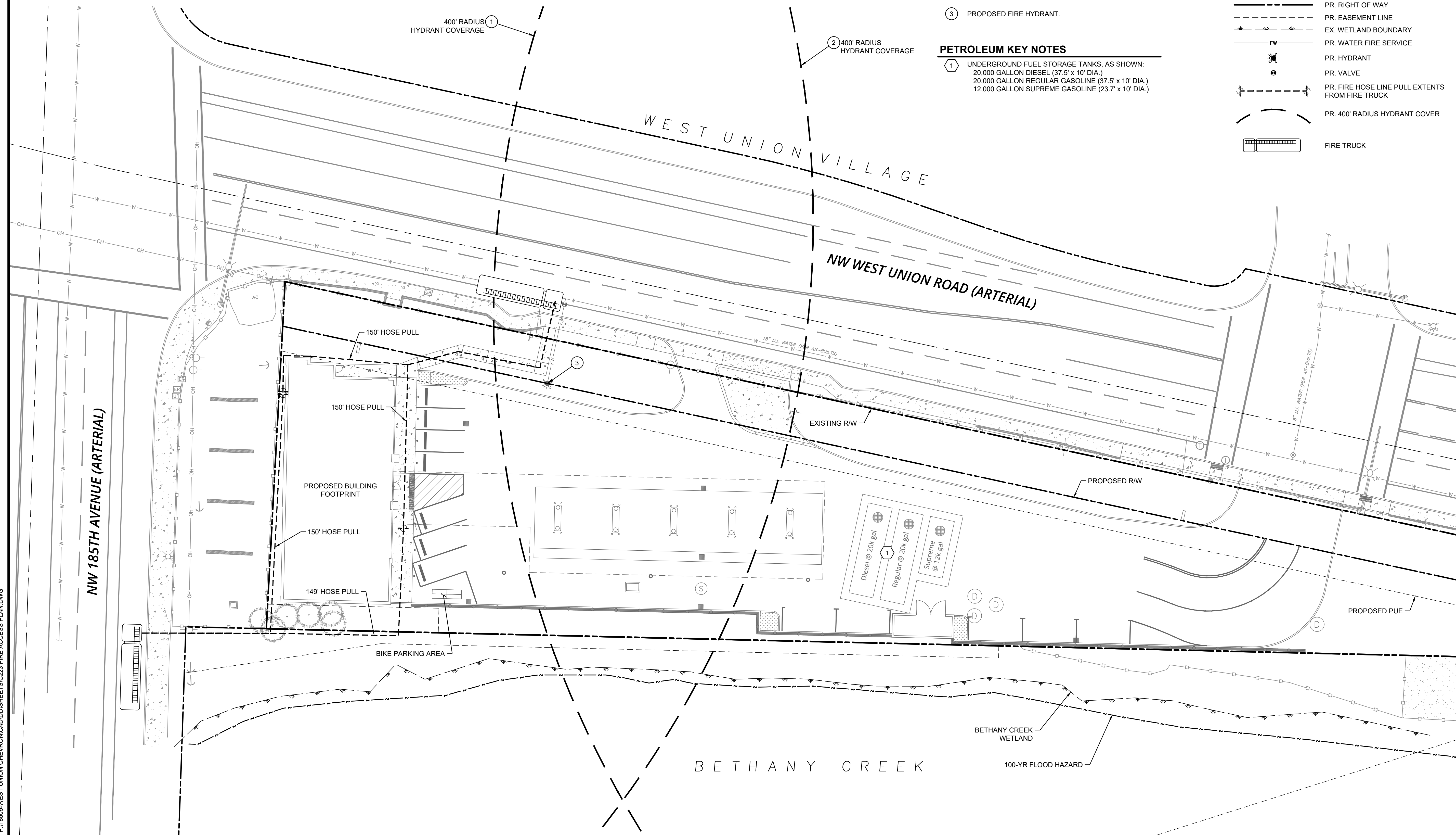
- ① EXISTING HYDRANT LOCATED BEHIND CURB AT WEST UNION VILLAGE NORTHEAST CURB RETURN.
- ② EXISTING HYDRANT LOCATED BEHIND SIDEWALK AT 185TH AVE SOUTHWEST CURB RETURN.
- ③ PROPOSED FIRE HYDRANT.

PETROLEUM KEY NOTES

- ① UNDERGROUND FUEL STORAGE TANKS, AS SHOWN:
20,000 GALLON DIESEL (37.5' x 10' DIA.)
20,000 GALLON REGULAR GASOLINE (37.5' x 10' DIA.)
12,000 GALLON SUPREME GASOLINE (23.7' x 10' DIA.)

LEGEND

- PROJECT BOUNDARY
- - - EX. RIGHT-OF-WAY LINE
- · - · - EX. RIGHT-OF-WAY CENTERLINE
- - - PR. RIGHT OF WAY
- · - · - PR. EASEMENT LINE
- · - · - EX. WETLAND BOUNDARY
- · - · - PR. WATER FIRE SERVICE
- PR. HYDRANT
- PR. VALVE
- ↔ PR. FIRE HOSE LINE PULL EXTENTS FROM FIRE TRUCK
- ⊖ PR. 400' RADIUS HYDRANT COVER
- 🚒 FIRE TRUCK



FIRE ACCESS PLAN
WEST UNION CHEVRON
 CRJW, LLC
 WASHINGTON COUNTY, OREGON

3J CONSULTING
 CIVIL ENGINEERING
 WATER RESOURCES
 COMMUNITY PLANNING
 9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION
 3J PROJECT # | 18509
 TAX LOT(S) | 1N119BC00(600,500)
 LAND USE # | -
 DESIGNED BY | JEJ
 CHECKED BY | AJM

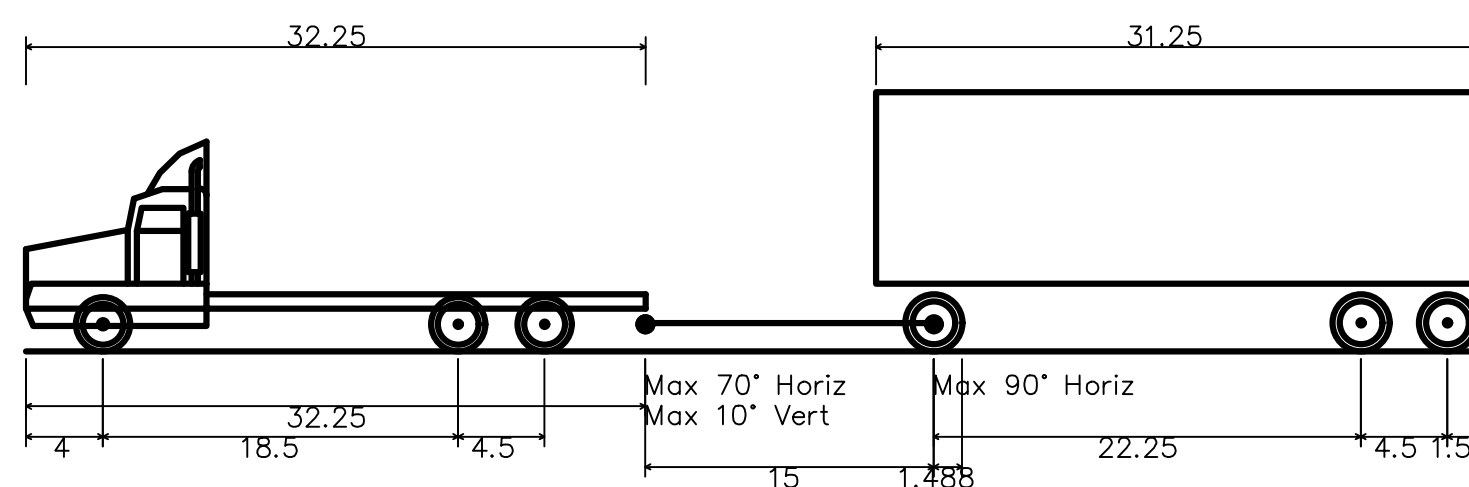
SHEET NUMBER
C223

P:\18509-WEST UNION CHEVRON\CADD\SHS\223 FIRE ACCESS PLAN.DWG

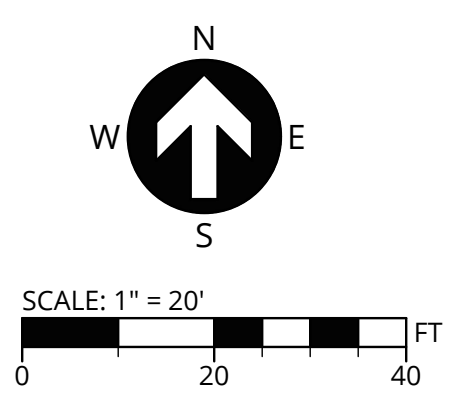


THIS PLAN HAS BEEN PREPARED FOR PLANNING AND ILLUSTRATIVE PURPOSES ONLY. THIS PLAN SHOWS ASSUMED FUELING TRUCK TURNING MOVEMENTS INTO, THROUGH, AND OUT OF THE SITE.

FUEL TRUCK PROFILE

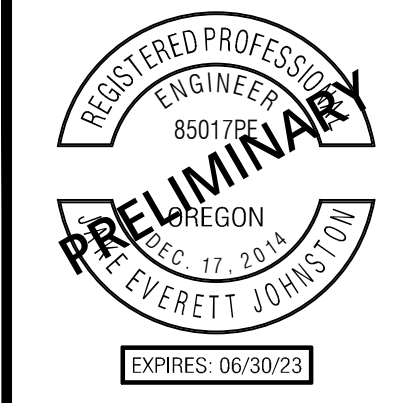


| | |
|------------------------------|----------|
| Fuel Truck (custom) | 75.500ft |
| Overall Length | 8.500ft |
| Overall Width | 13.500ft |
| Overall Body Height | 1.334ft |
| Min Body Ground Clearance | 8.500ft |
| Max Track Width | 6.00s |
| Lock-to-lock time | 50.00° |
| Max Steering Angle (Virtual) | |

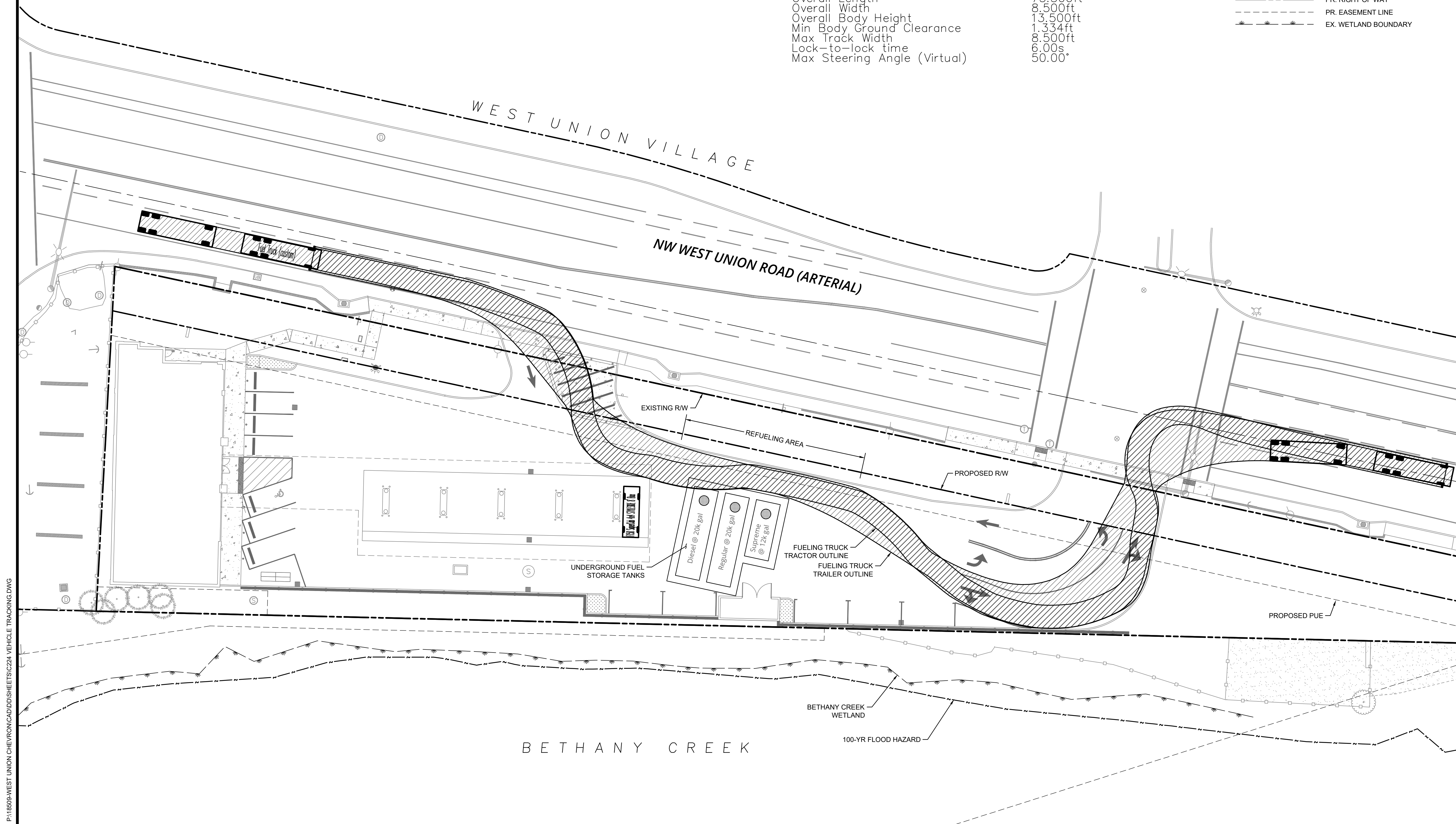


LEGEND

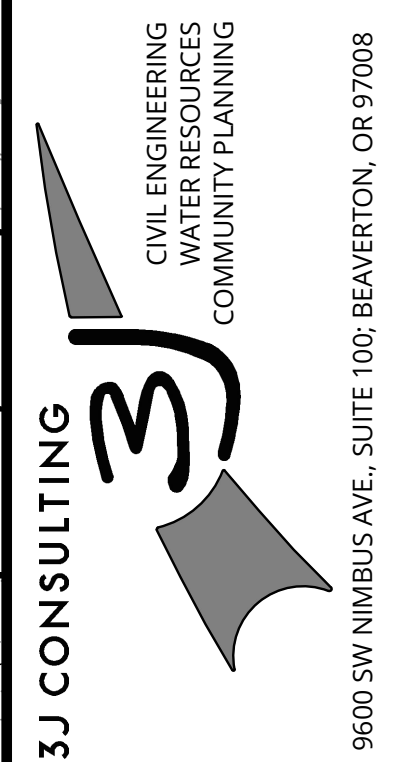
| | |
|--|-----------------------------|
| | PROJECT BOUNDARY |
| | EX. RIGHT-OF-WAY LINE |
| | EX. RIGHT-OF-WAY CENTERLINE |
| | PR. RIGHT OF WAY |
| | PR. EASEMENT LINE |
| | EX. WETLAND BOUNDARY |



PUBLISH DATE
SEPTEMBER 3, 2021
ISSUED FOR
LAND USE DOCUMENTS
REVISIONS



FUEL TRUCK TURNING MOVEMENT
WEST UNION CHEVRON
CRJW, LLC
WASHINGTON COUNTY, OREGON



PROJECT INFORMATION
3J PROJECT # | 18509
TAX LOT(S) | 1N119BC00(600,500)
LAND USE # | --
DESIGNED BY | JEJ
CHECKED BY | AJM

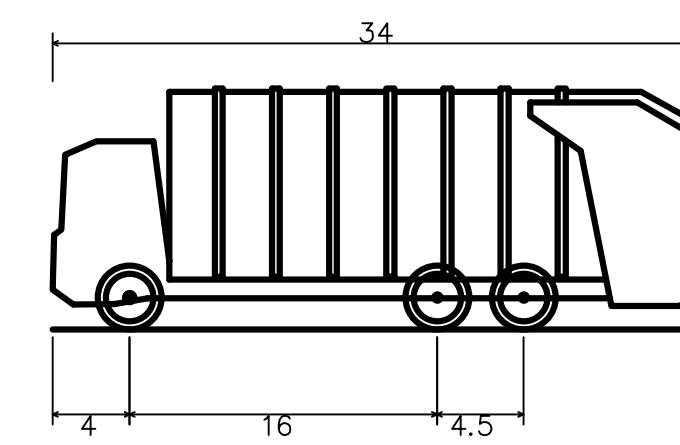
SHEET NUMBER
C224

P:\18509\WEST UNION CHEVRON\CADD\SHSHEETS\C224_VEHICLE TRACKING.DWG

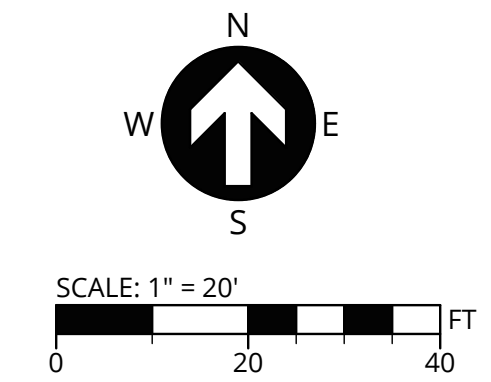


THIS PLAN HAS BEEN PREPARED FOR PLANNING AND ILLUSTRATIVE PURPOSES ONLY. THIS PLAN SHOWS ASSUMED GARBAGE/RECYCLING TRUCK TURNING MOVEMENTS INTO, THROUGH, AND OUT OF THE SITE.

GARBAGE TRUCK PROFILE

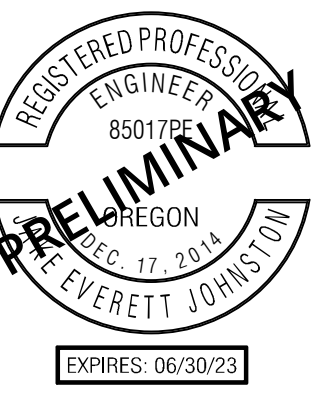


| | |
|-----------------------------|----------|
| Custom Garbage Truck | |
| Overall Length | 34.000ft |
| Overall Width | 10.000ft |
| Overall Body Height | 12.534ft |
| Min Body Ground Clearance | 1.223ft |
| Track Width | 9.500ft |
| Lock-to-lock time | 4.00s |
| Curb to Curb Turning Radius | 35.000ft |

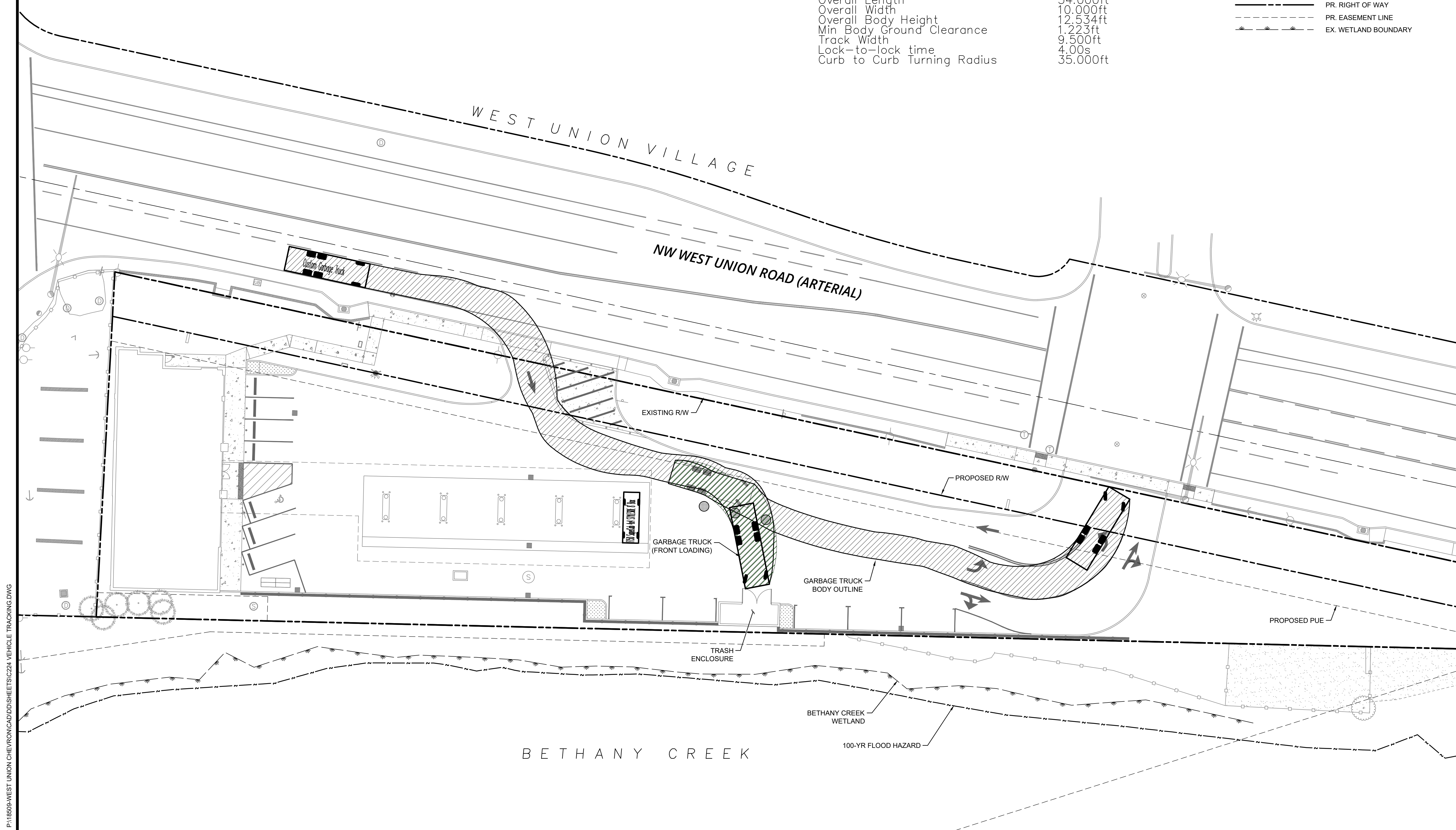


LEGEND

- PROJECT BOUNDARY
- - - EX. RIGHT-OF-WAY LINE
- · - · - EX. RIGHT-OF-WAY CENTERLINE
- - - PR. RIGHT OF WAY
- · - · - PR. EASEMENT LINE
- * - * - EX. WETLAND BOUNDARY

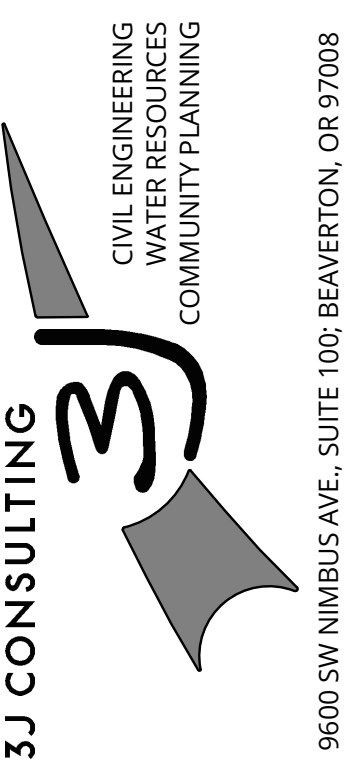


PUBLISH DATE
SEPTEMBER 3, 2021
ISSUED FOR
LAND USE DOCUMENTS
REVISIONS



GARBAGE TRUCK TURNING MOVEMENT
WEST UNION CHEVRON

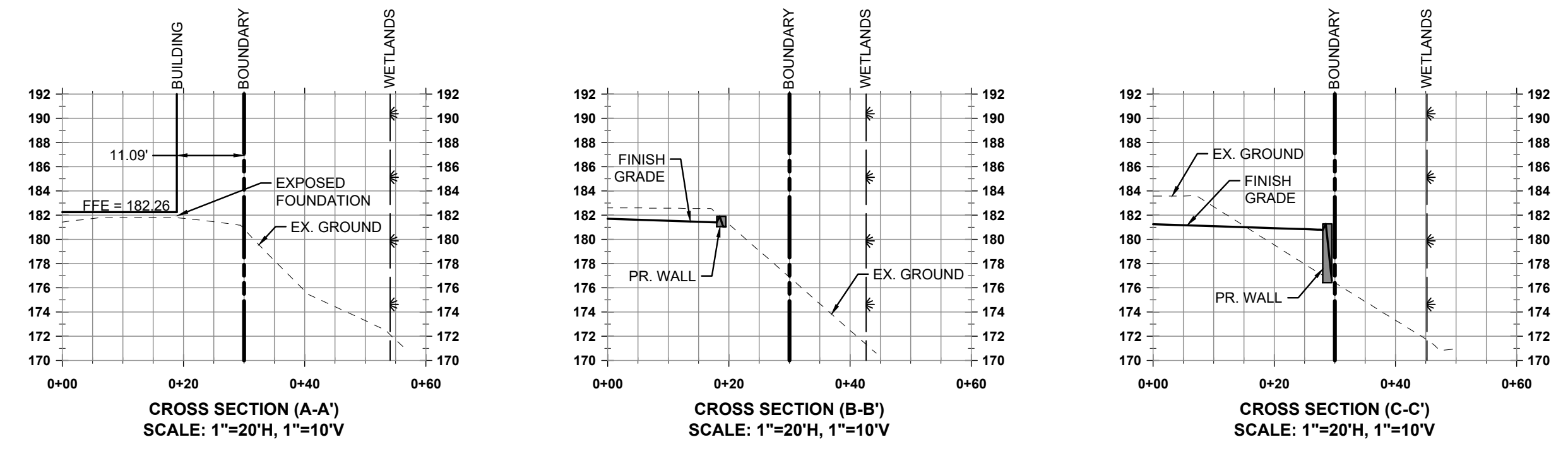
CRJW, LLC
WASHINGTON COUNTY, OREGON



PROJECT INFORMATION
3J PROJECT # | 18509
TAX LOT(S) | 1N119BC00(600,500)
LAND USE # | --
DESIGNED BY | JEJ
CHECKED BY | AJM

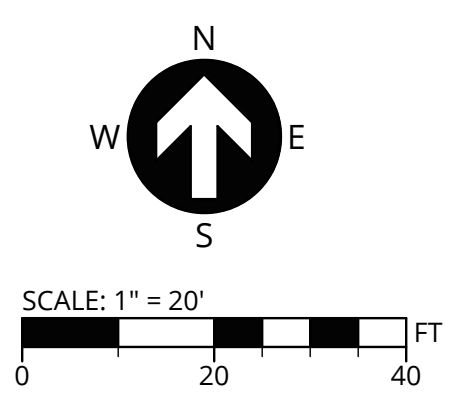
SHEET NUMBER
C225

P:\18509\WEST UNION CHEVRON\CADD\SHSHEETS\C224_VEHICLE TRACKING.DWG



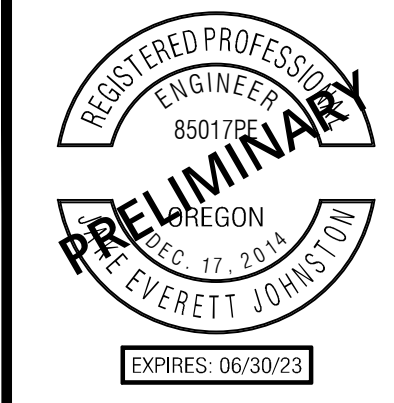
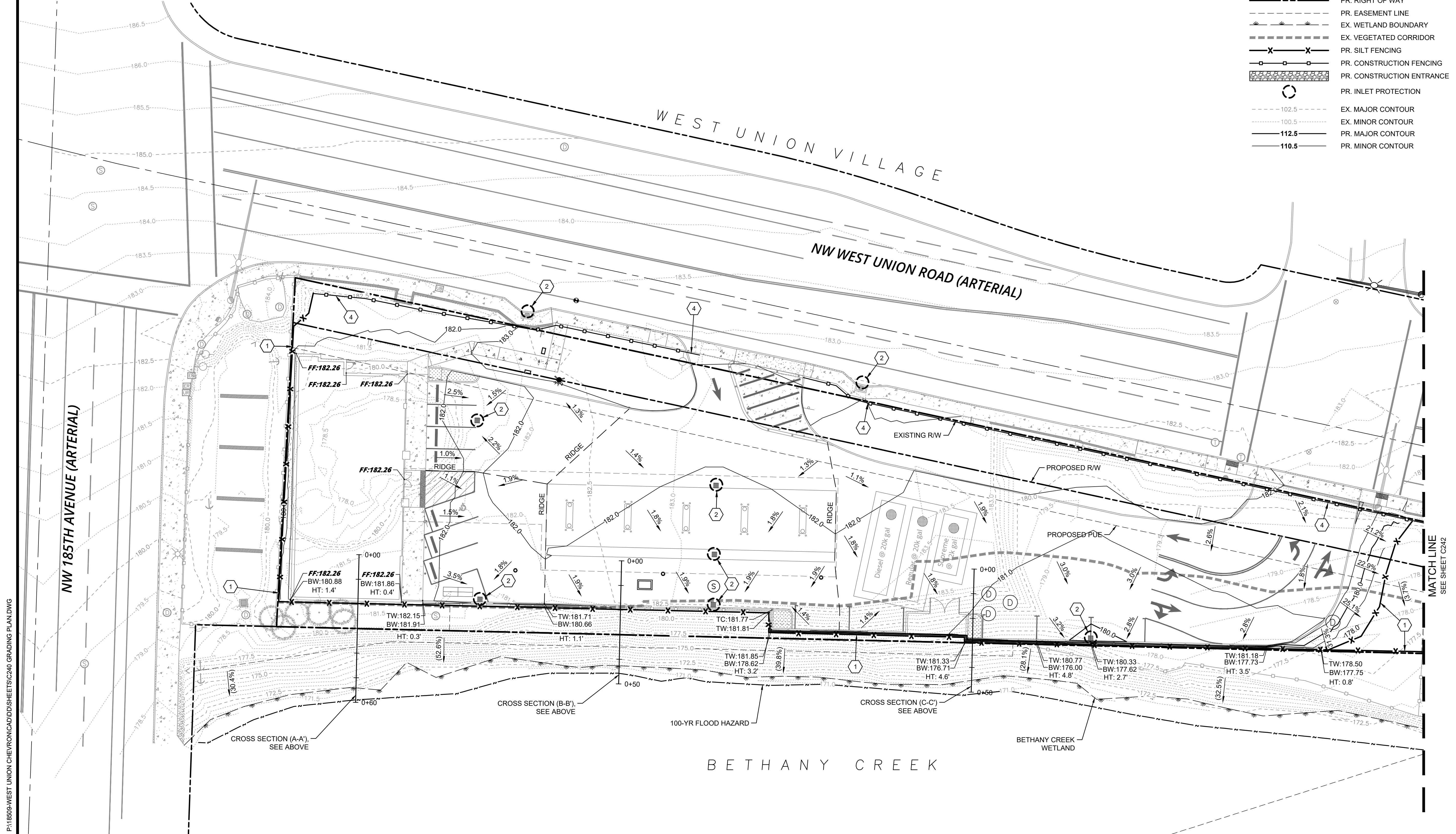
EROSION CONTROL KEY NOTES

- ① INSTALL SEDIMENT FENCE AT LIMITS OF GRADING.
- ② INSTALL/MAINTAIN INLET PROTECTION.
- ③ INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- ④ INSTALL/MAINTAIN HIGH VISIBILITY ORANGE CONSTRUCTION FENCING.



LEGEND

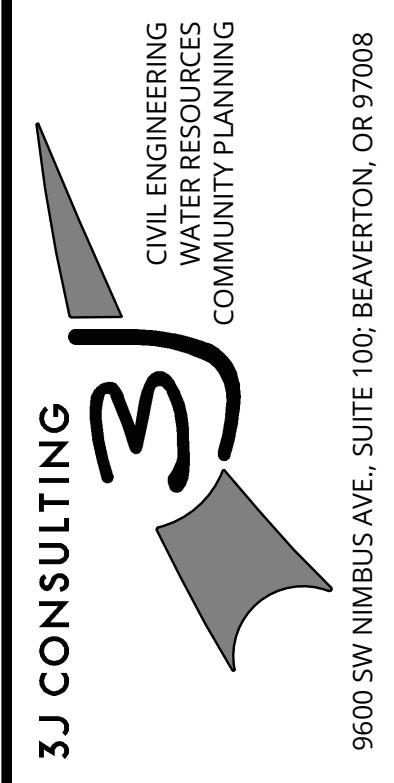
- PROJECT BOUNDARY
- EX. RIGHT-OF-WAY LINE
- EX. RIGHT-OF-WAY CENTERLINE
- PR. RIGHT OF WAY
- PR. EASEMENT LINE
- EX. WETLAND BOUNDARY
- EX. VEGETATED CORRIDOR
- PR. SILT FENCING
- PR. CONSTRUCTION FENCING
- PR. CONSTRUCTION ENTRANCE
- PR. INLET PROTECTION
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- PR. MAJOR CONTOUR
- PR. MINOR CONTOUR



PUBLISH DATE
SEPTEMBER 3, 2021
ISSUED FOR
LAND USE DOCUMENTS
REVISIONS

PRELIMINARY GRADING AND ESCP I
WEST UNION CHEVRON

CRJW, LLC
 WASHINGTON COUNTY, OREGON



PROJECT INFORMATION
 3J PROJECT # | 18509
 TAX LOT(S) | 1N119BC00(600,500)
 LAND USE # | --
 DESIGNED BY | JEJ
 CHECKED BY | AJM

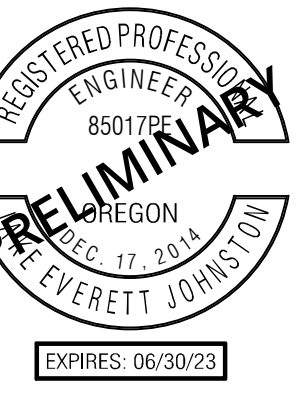
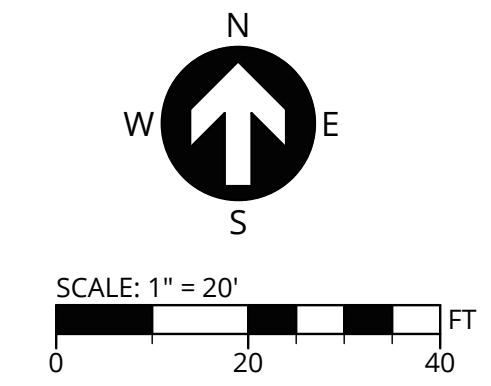
SHEET NUMBER
C241

P:\18509\WEST UNION CHEVRON\CADD\SHETS\C240 GRADING PLAN.DWG



EROSION CONTROL KEY NOTES

- ① INSTALL SEDIMENT FENCE AT LIMITS OF GRADING.
- ② INSTALL/MAINTAIN INLET PROTECTION.
- ③ INSTALL/MAINTAIN HIGH VISIBILITY ORANGE CONSTRUCTION FENCING.

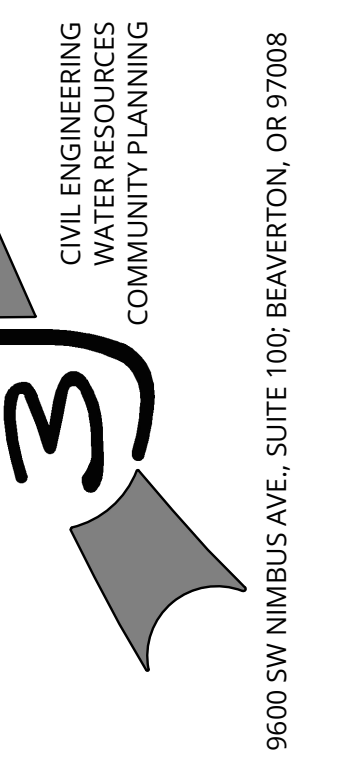


PUBLISH DATE
SEPTEMBER 3, 2021
ISSUED FOR
LAND USE DOCUMENTS
REVISIONS

LEGEND

- PROJECT BOUNDARY
- - - EX. RIGHT-OF-WAY LINE
- - - EX. RIGHT-OF-WAY CENTERLINE
- - - PR. RIGHT OF WAY
- - - PR. EASEMENT LINE
- * - EX. WETLAND BOUNDARY
- * - EX. VEGETATED CORRIDOR
- X - PR. SILT FENCING
- □ - PR. CONSTRUCTION FENCING
- [] - PR. CONSTRUCTION ENTRANCE
- PR. INLET PROTECTION
- - - 100.0 - EX. MAJOR CONTOUR
- - - 92.5 - EX. MINOR CONTOUR

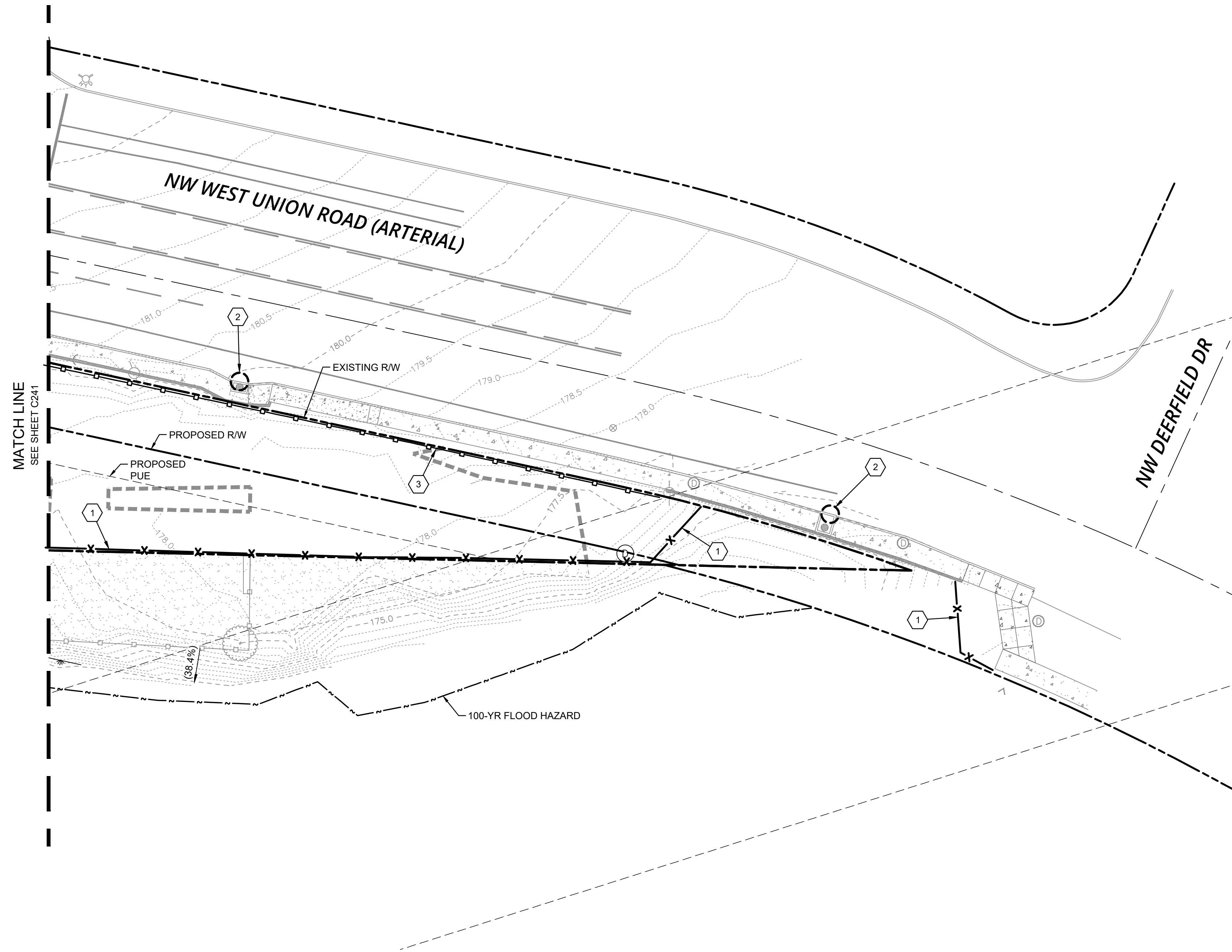
PRELIMINARY GRADING AND ESCP II
WEST UNION CHEVRON
CRJW, LLC
WASHINGTON COUNTY, OREGON



PROJECT INFORMATION
3J PROJECT # | 18509
TAX LOT(S) | 1N119BC00(600,500)
LAND USE # | --
DESIGNED BY | JEJ
CHECKED BY | AJM

SHEET NUMBER
C242

P:\18509-WEST UNION CHEVRON\CADD\SHS\18509-C240 GRADING PLAN.DWG





STORM KEY NOTES

- 1 CONSTRUCT CATCH BASIN.
- 2 PROPOSED STORM DRAIN POINT OF CONNECTION FOR BUILDING ROOF DRAIN.
- 3 PROPOSED STORM DRAIN POINT OF CONNECTION FOR CANOPY ROOF DRAIN AT CANOPY COLUMNS.
- 4 INSTALL STORM DRAIN PIPING.
- 5 INSTALL STORM DRAIN CLEANOUT.
- 6 CONSTRUCT 60" WATER QUALITY MANHOLE.
- 7 CONSTRUCT 60" BAYFILTER MANHOLE (2-CARTRIDGE).
- 8 CONSTRUCT 60" STORM DRAIN MANHOLE.
- 9 PROPOSED ADS STORMTECH CHAMBER (SC740) DETENTION SYSTEM.
- 10 CONSTRUCT 60" FLOW CONTROL MANHOLE.

SANITARY SEWER KEY NOTES

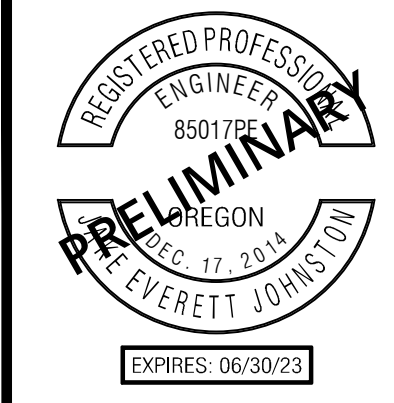
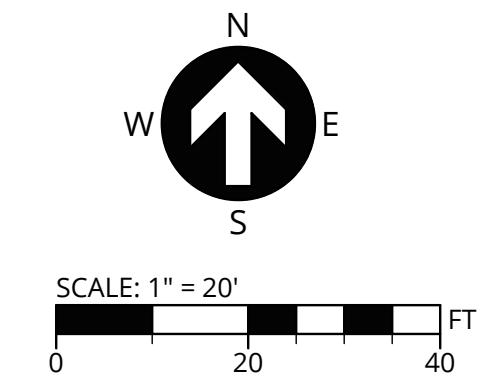
- 1 CONSTRUCT CATCH BASIN.
- 2 PROPOSED SANITARY SEWER POINT OF CONNECTION AT BUILDING.
- 3 INSTALL SANITARY SEWER PIPING.
- 4 CONSTRUCT OIL STOP VALVE MANHOLE.
- 5 CONSTRUCT OIL WATER SEPARATOR VAULT WITH COALESCING MEDIA.
- 6 CONNECT TO EXISTING SANITARY SEWER MANHOLE.
- 7 CONSTRUCT 48" SANITARY SEWER MANHOLE OVER EXISTING SEWER MAIN.
- 8 FILL AND ABANDON EXISTING SANITARY SEWER MAIN IN PLACE.

WATER KEY NOTES

- 1 REMOVE EXISTING METER AND CONNECT NEW SERVICE LINE TO EXISTING SERVICE LINE.
- 2 INSTALL NEW WATER SERVICE LINE.
- 3 INSTALL NEW DOMESTIC WATER METER.
- 4 INSTALL NEW DOUBLE CHECK.
- 5 WATER SERVICE POINT OF CONNECTION TO BUILDING. SEE ARCHITECTURAL FOR EXACT LOCATION.
- 6 INSTALL NEW FIRE HYDRANT, LATERAL, AND VALVE. CONNECT TO EXISTING WATER MAIN. HYDRANT TO BE LOCATED AT FUTURE PLANTER STRIP.

UTILITY KEY NOTES

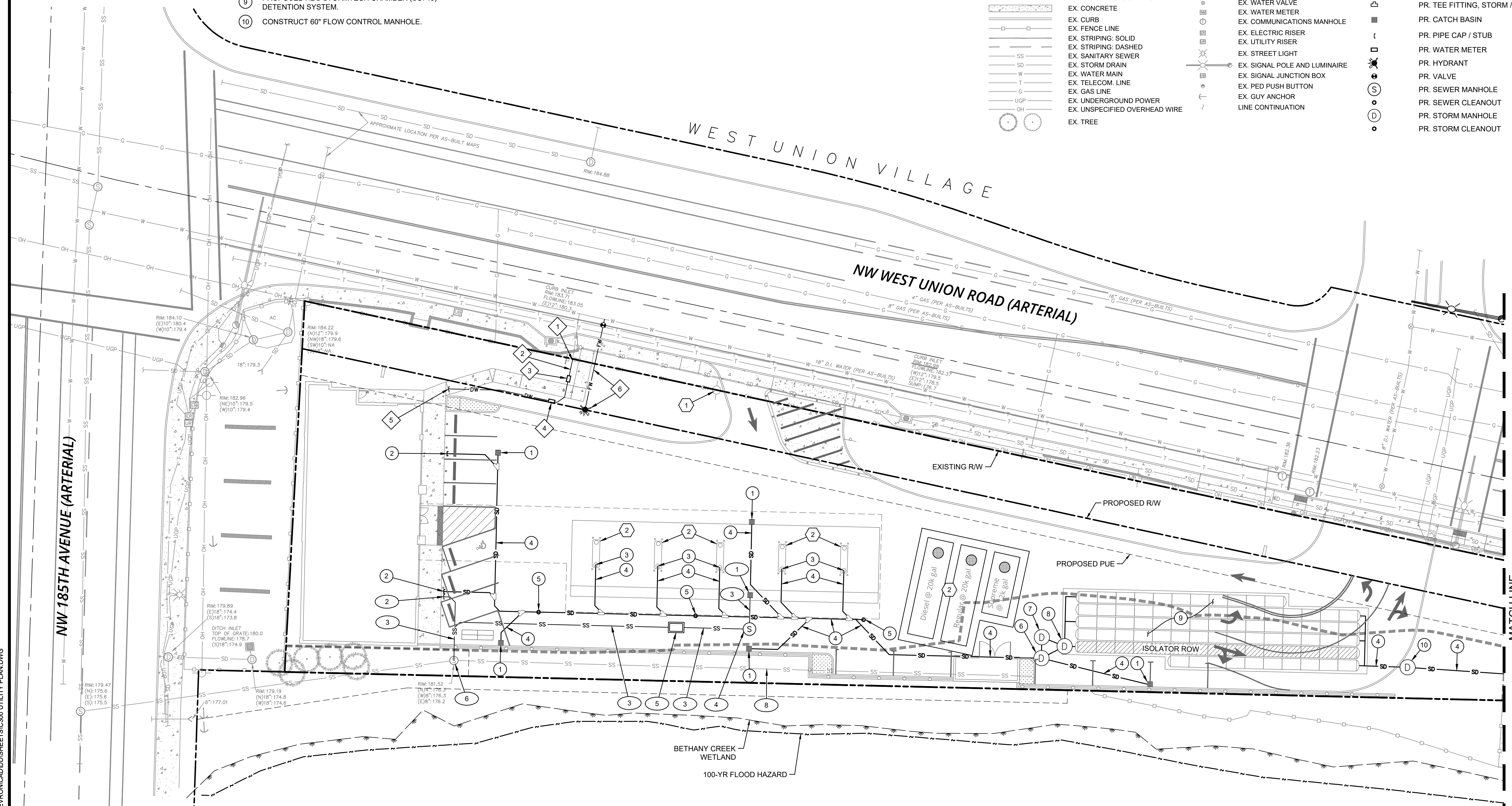
- 1 PROTECT EXISTING UTILITY POLE TO REMAIN.
- 2 SEE PETROLEUM PLANS FOR UNDERGROUND FUEL TANK AND PUMP INFORMATION



PUBLISH DATE
SEPTEMBER 3, 2021
 ISSUED FOR
LAND USE DOCUMENTS
 REVISIONS

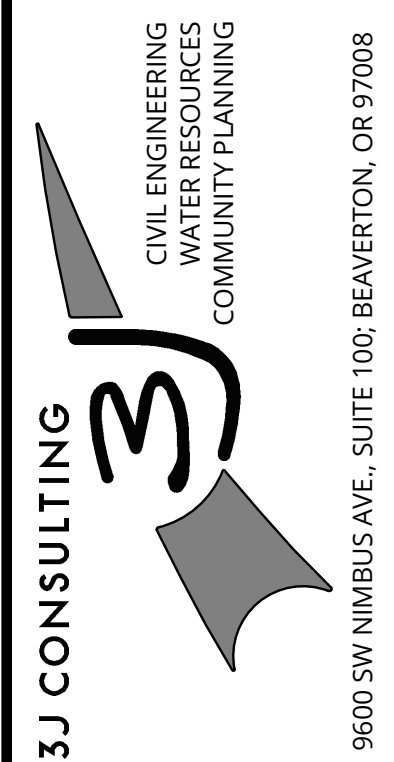
LEGEND

| | | | |
|--|-------------------------------|--|-----------------------------------|
| | EX. BUILDING | | PR. STORM PIPE |
| | EX. PROJECT BOUNDARY | | PR. SANITARY LATERAL |
| | EX. RIGHT-OF-WAY LINE | | PR. WATER DOMESTIC SERVICE |
| | PR. RIGHT OF WAY | | PR. WATER FIRE SERVICE |
| | EX. EASEMENT LINE | | PR. TEE FITTING, STORM / SANITARY |
| | EX. WETLAND BOUNDARY | | PR. CATCH BASIN |
| | EX. VEGETATED CORRIDOR | | PR. PIPE CAP / STUB |
| | EX. CONCRETE | | PR. WATER METER |
| | EX. CURB | | PR. HYDRANT |
| | EX. FENCE LINE | | PR. VALVE |
| | EX. STRIPING: SOLID | | PR. SEWER MANHOLE |
| | EX. STRIPING: DASHED | | PR. SEWER CLEANOUT |
| | EX. SANITARY SEWER | | PR. STORM MANHOLE |
| | EX. STORM DRAIN | | PR. STORM CLEANOUT |
| | EX. WATER MAIN | | |
| | EX. TELECOM. LINE | | |
| | EX. GAS LINE | | |
| | EX. UNDERGROUND POWER | | |
| | EX. UNSPECIFIED OVERHEAD WIRE | | |
| | EX. TREE | | |
| | EX. SIGN | | |
| | EX. SANITARY MANHOLE | | |
| | EX. STORM MANHOLE | | |
| | EX. STORM INLET | | |
| | EX. CULVERT PIPE OUTLET | | |
| | EX. FIRE HYDRANT | | |
| | EX. WATER VALVE | | |
| | EX. WATER METER | | |
| | EX. COMMUNICATIONS MANHOLE | | |
| | EX. ELECTRIC RISER | | |
| | EX. UTILITY RISER | | |
| | EX. STREET LIGHT | | |
| | EX. SIGNAL POLE AND LUMINAIRE | | |
| | EX. SIGNAL JUNCTION BOX | | |
| | EX. PED PUSH BUTTON | | |
| | EX. GUY ANCHOR | | |
| | LINE CONTINUATION | | |



P:\18509-WEST UNION CHEVRON\CADD\SHETS\C300 UTILITY PLAN.DWG

PRELIMINARY COMPOSITE UTILITY PLAN I
WEST UNION CHEVRON
 CRJW, LLC
 WASHINGTON COUNTY, OREGON



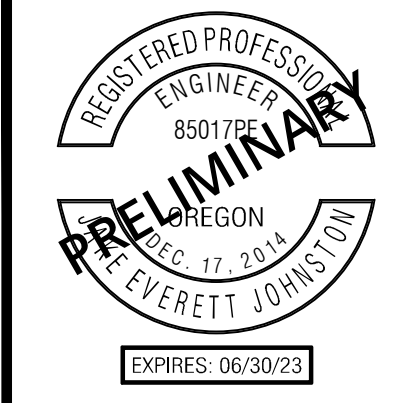
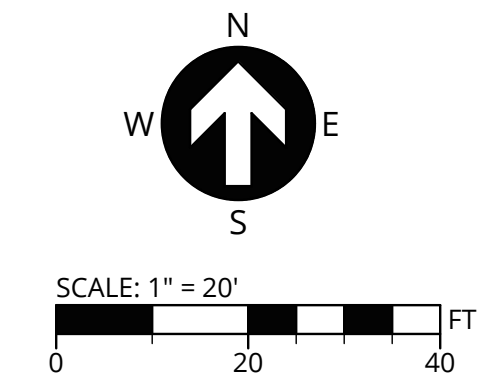
PROJECT INFORMATION
 3J PROJECT # | 18509
 TAX LOT(S) | 1N119BC00(600,500)
 LAND USE # | --
 DESIGNED BY | JEJ
 CHECKED BY | AJM

SHEET NUMBER
C301



STORM KEY NOTES

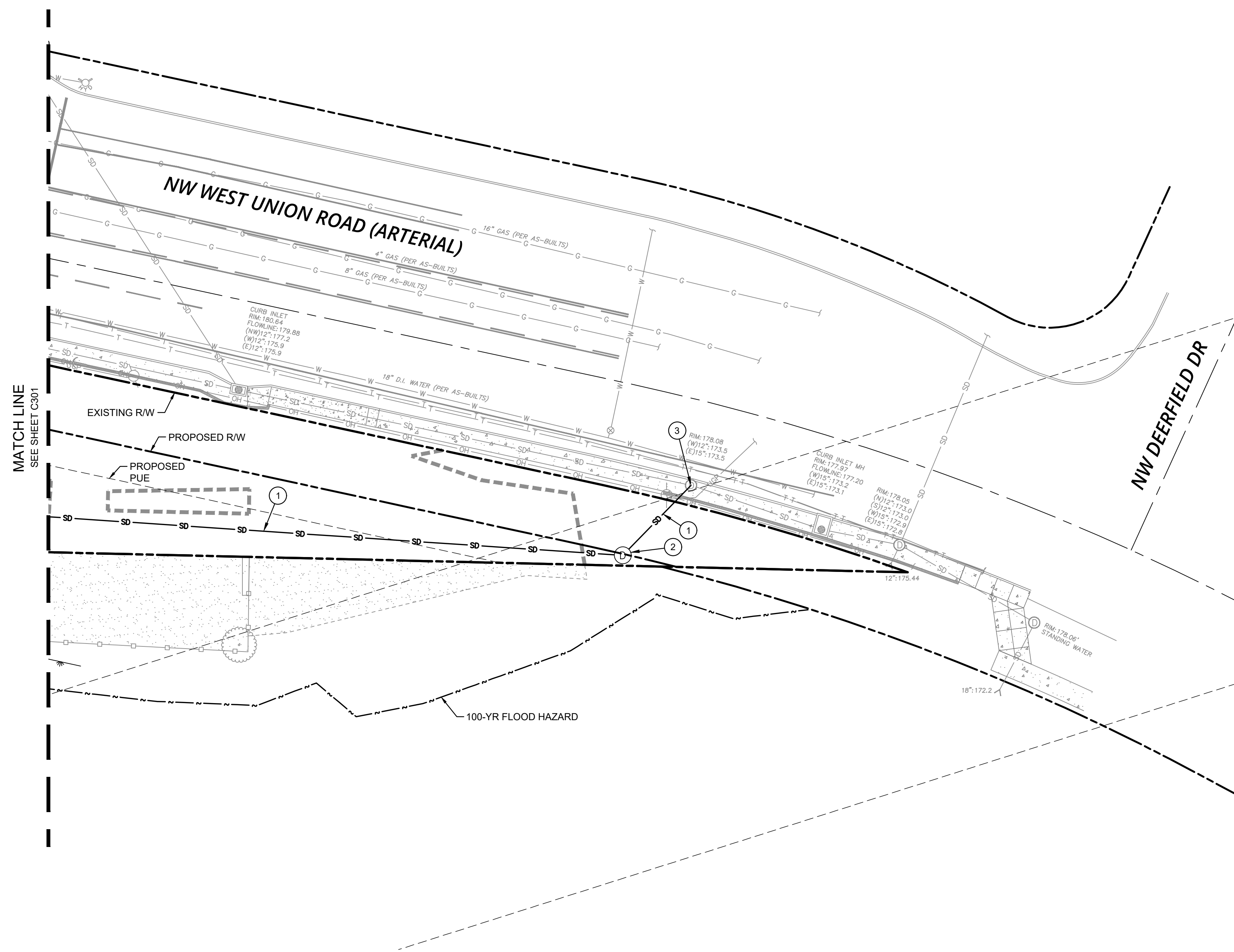
- ① INSTALL STORM DRAIN PIPING.
- ② CONSTRUCT 48" STORM MANHOLE.
- ③ CONNECT TO EXISTING SHALLOW STORM MANHOLE.



PUBLISH DATE
SEPTEMBER 3, 2021
 ISSUED FOR
LAND USE DOCUMENTS
 REVISIONS

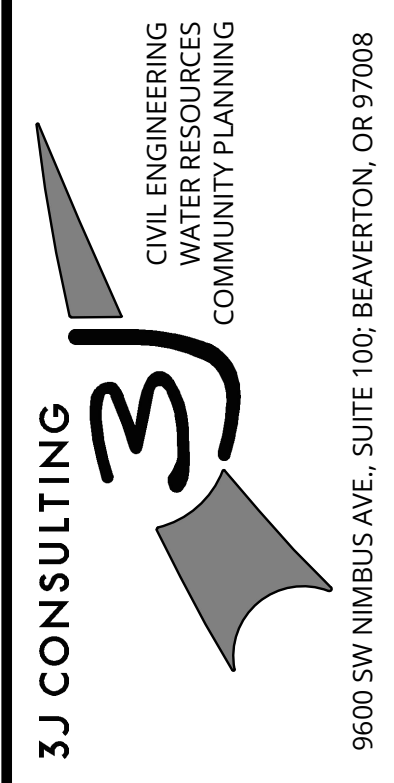
LEGEND

| | |
|--|-------------------------------|
| | EX. BUILDING |
| | PROJECT BOUNDARY |
| | RIGHT-OF-WAY LINE |
| | RIGHT-OF-WAY CENTERLINE |
| | PR. RIGHT OF WAY |
| | PR. EASEMENT LINE |
| | EX. CONCRETE |
| | EX. GRAVEL |
| | EX. VEGETATED CORRIDOR |
| | EX. CURB |
| | EX. FENCE LINE |
| | EX. STRIPING: SOLID |
| | EX. STRIPING: DASHED |
| | EX. STORM DRAIN |
| | EX. WATER MAIN |
| | EX. TELECOM. LINE |
| | EX. GAS LINE |
| | EX. UNDERGROUND POWER |
| | EX. UNSPECIFIED OVERHEAD WIRE |
| | EX. TREE |
| | EX. SANITARY MANHOLE |
| | EX. STORM MANHOLE |
| | EX. STORM INLET |
| | EX. CULVERT PIPE OUTLET |
| | EX. FIRE HYDRANT |
| | EX. WATER VALVE |
| | EX. GUY ANCHOR |
| | LINE CONTINUATION |
| | PR. STORM PIPE |
| | PR. STORM MANHOLE |



PRELIMINARY COMPOSITE UTILITY PLAN II
WEST UNION CHEVRON

CRJW, LLC
 WASHINGTON COUNTY, OREGON



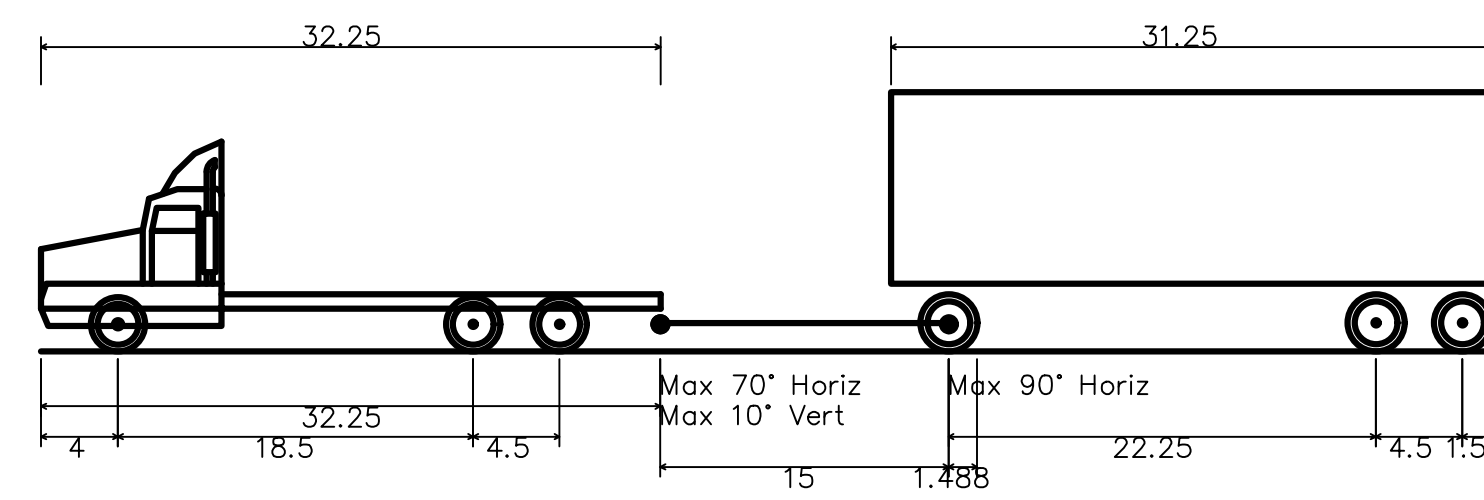
PROJECT INFORMATION
 3J PROJECT # | 18509
 TAX LOT(S) | 1N119BC00(600,500)
 LAND USE # | --
 DESIGNED BY | JEJ
 CHECKED BY | AJM

SHEET NUMBER
C302

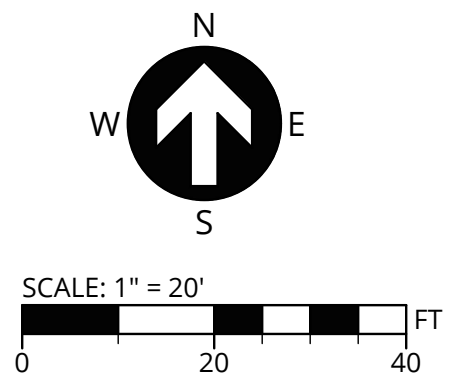


THIS PLAN HAS BEEN PREPARED FOR PLANNING AND ILLUSTRATIVE PURPOSES ONLY. THIS PLAN SHOWS ASSUMED FUELING TRUCK TURNING MOVEMENTS INTO, THROUGH, AND OUT OF THE SITE BASED ON ULTIMATE IMPROVEMENTS ALONG NW WEST UNION ROAD.

FUEL TRUCK PROFILE

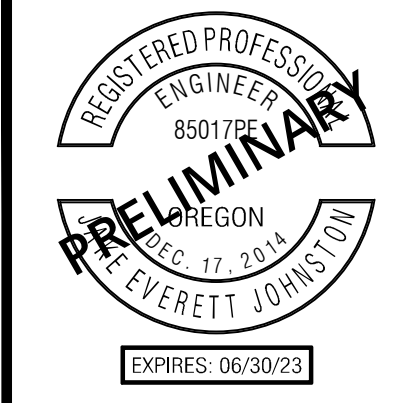


| | |
|------------------------------|----------|
| Fuel Truck (custom) | 75.500ft |
| Overall Length | 8.500ft |
| Overall Width | 13.500ft |
| Overall Body Height | 1.334ft |
| Min Body Ground Clearance | 8.500ft |
| Max Track Width | 6.00s |
| Lock-to-lock time | 50.00° |
| Max Steering Angle (Virtual) | |

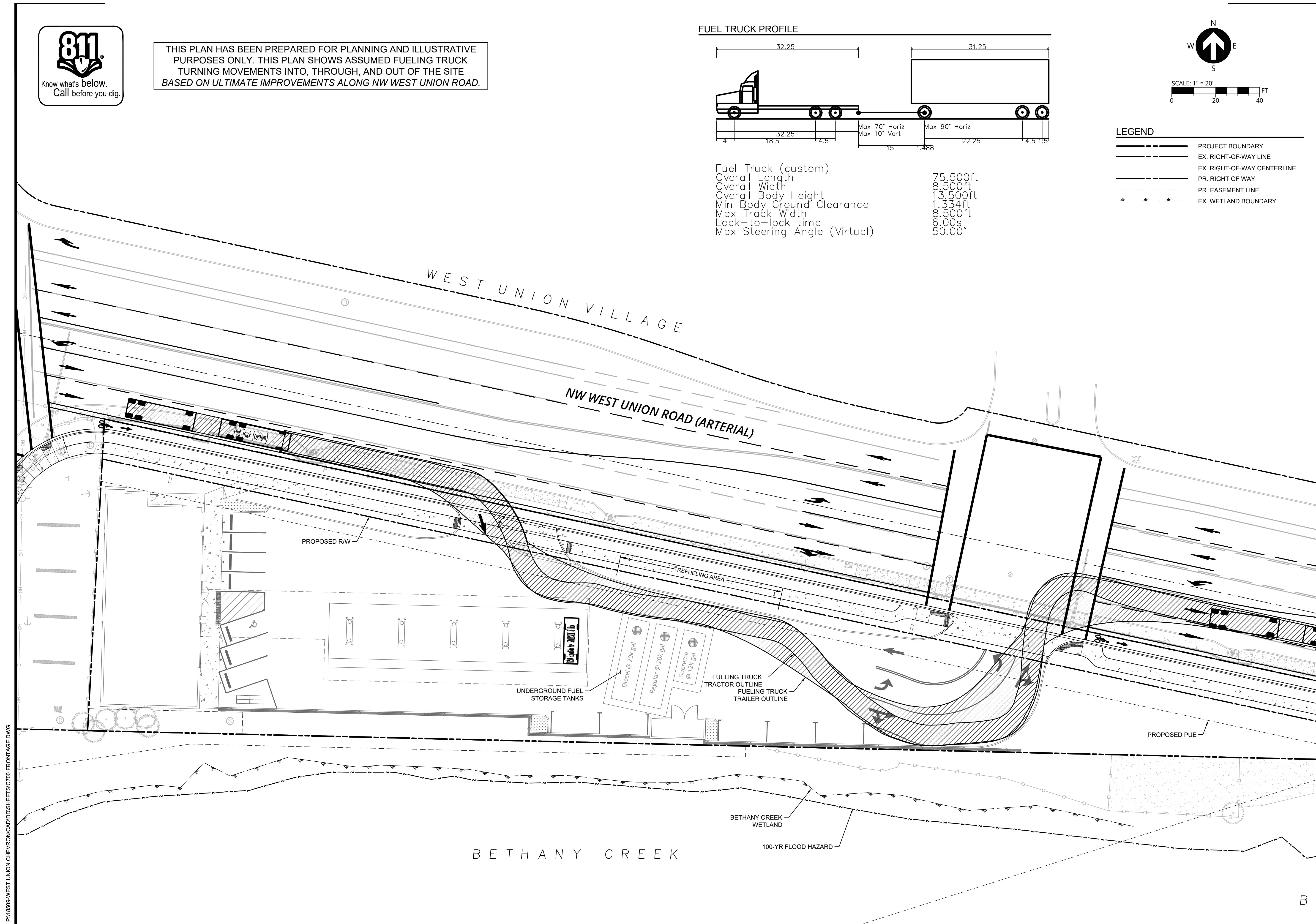


LEGEND

| | |
|--|-----------------------------|
| | PROJECT BOUNDARY |
| | EX. RIGHT-OF-WAY LINE |
| | EX. RIGHT-OF-WAY CENTERLINE |
| | PR. RIGHT OF WAY |
| | PR. EASEMENT LINE |
| | EX. WETLAND BOUNDARY |



PUBLISH DATE
SEPTEMBER 3, 2021
ISSUED FOR
LAND USE DOCUMENTS
REVISIONS



FUEL TRUCK TURNING MOVEMENT (ULTIMATE)
WEST UNION CHEVRON
 CRJW, LLC
 WASHINGTON COUNTY, OREGON

3J CONSULTING
 CIVIL ENGINEERING
 WATER RESOURCES
 COMMUNITY PLANNING
 9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION
 3J PROJECT # | 18509
 TAX LOT(S) | 1N119BC00(600,500)
 LAND USE # | --
 DESIGNED BY | JEJ
 CHECKED BY | AJM

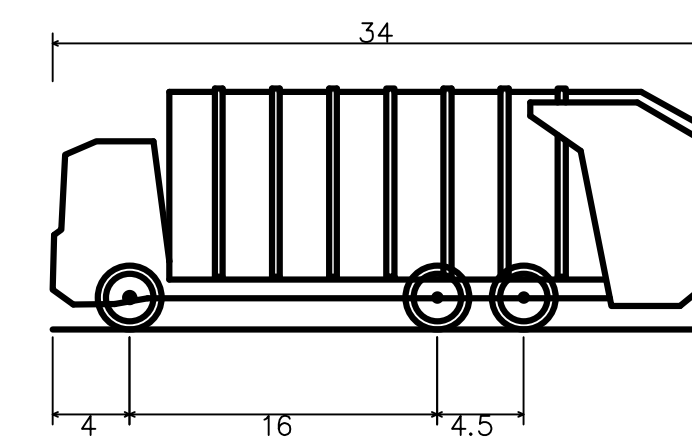
SHEET NUMBER
C824

P:\18509\WEST UNION CHEVRON\CADD\SHS\CTS\CT00 FRONTAGE.DWG

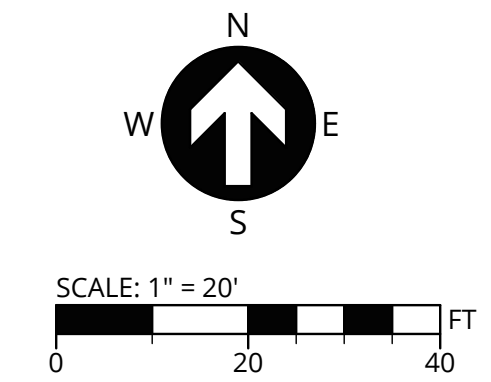


THIS PLAN HAS BEEN PREPARED FOR PLANNING AND ILLUSTRATIVE PURPOSES ONLY. THIS PLAN SHOWS ASSUMED GARBAGE/RECYCLING TRUCK TURNING MOVEMENTS INTO, THROUGH, AND OUT OF THE SITE BASED ON ULTIMATE IMPROVEMENTS ALONG NW WEST UNION ROAD.

GARBAGE TRUCK PROFILE

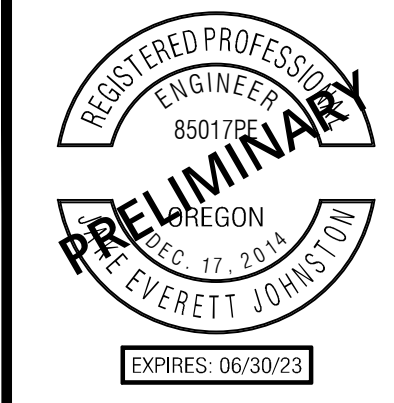


| | |
|-----------------------------|----------|
| Custom Garbage Truck | |
| Overall Length | 34.000ft |
| Overall Width | 10.000ft |
| Overall Body Height | 12.534ft |
| Min Body Ground Clearance | 1.223ft |
| Track Width | 9.500ft |
| Lock-to-lock time | 4.00s |
| Curb to Curb Turning Radius | 35.000ft |

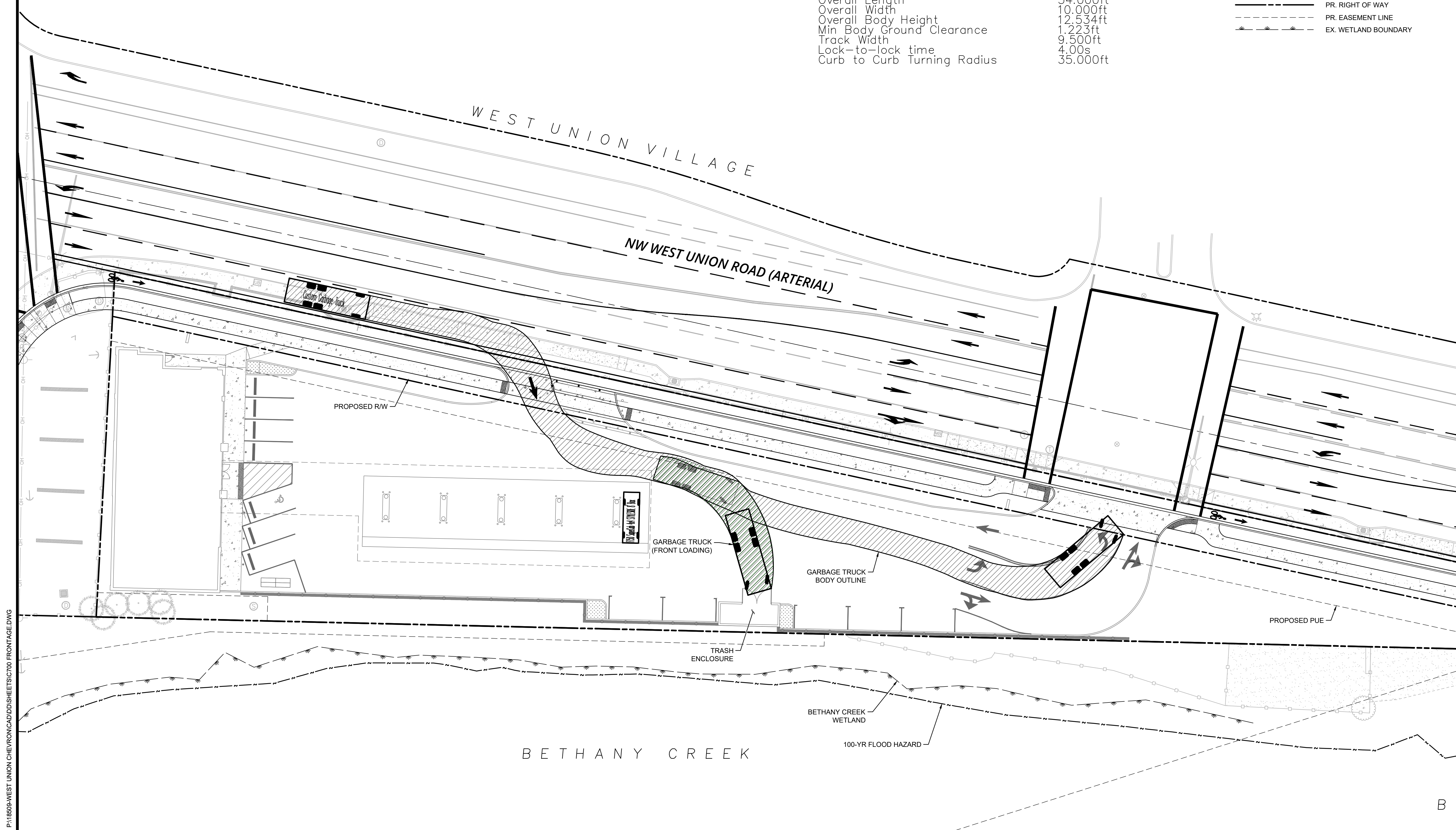


LEGEND

- PROJECT BOUNDARY
- EX. RIGHT-OF-WAY LINE
- EX. RIGHT-OF-WAY CENTERLINE
- PR. RIGHT OF WAY
- PR. EASEMENT LINE
- EX. WETLAND BOUNDARY



PUBLISH DATE
SEPTEMBER 3, 2021
ISSUED FOR
LAND USE DOCUMENTS
REVISIONS



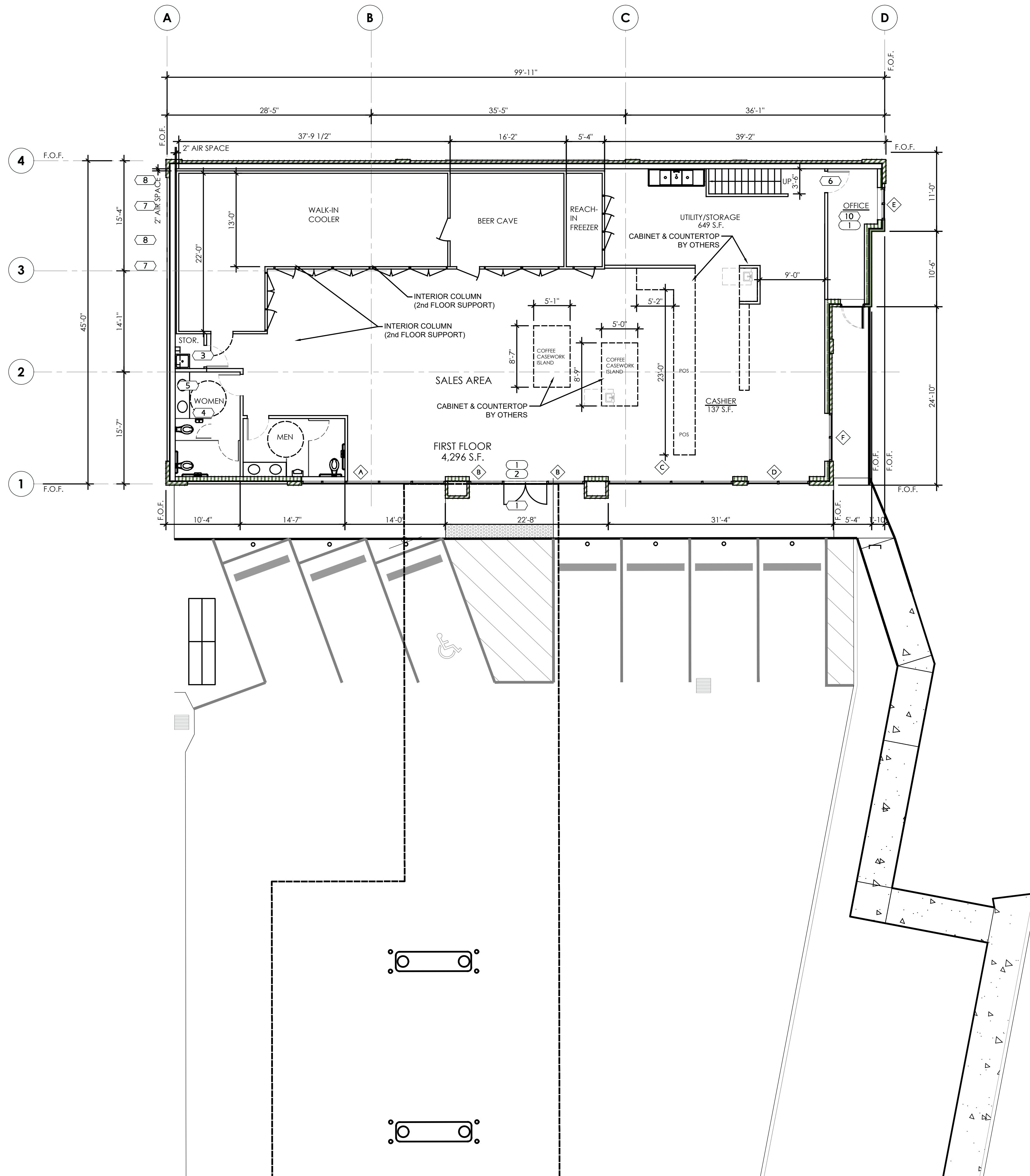
GARBAGE TRUCK TURNING MOVEMENT (ULTIMATE)
WEST UNION CHEVRON
 CRJW, LLC
 WASHINGTON COUNTY, OREGON

3J CONSULTING
 CIVIL ENGINEERING
 WATER RESOURCES
 COMMUNITY PLANNING
 9600 SW NIMBUS AVE., SUITE 100, BEAVERTON, OR 97008

PROJECT INFORMATION
 3J PROJECT # | 18509
 TAX LOT(S) | 1N119BC00(600,500)
 LAND USE # | --
 DESIGNED BY | JEJ
 CHECKED BY | AJM

SHEET NUMBER
C825

P:\18509\WEST UNION CHEVRON\CADD\SHETS\CT00 FRONTAGE.DWG



- (X) KEYNOTE DESCRIPTION
- ALL DOORS IN THE MEANS OF EGRESS SHALL BE OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT; THE UNLATCHING OF ANY DOOR SHALL NOT REQUIRE MORE THAN ONE OPERATION. NO MORE THAN 5LBS OF PRESSURE TO OPERATE.
 - FOR GROUP M OCCUPANCY, KEY-OPERATED LOCKING DEVICES, FROM THE EGRESS SIDE MAY BE USED ON THE MAIN EXTERIOR DOORS PROVIDED;
 - THE LOCKING DEVICE IS READILY DISTINGUISHABLE LOCKED; AND;
 - THERE IS A READILY VISIBLE SIGN ON OR ADJACENT TO THE DOOR STATING "THIS DOOR SHALL REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED; AND;
 - THIS SIGN SHALL BE IN LETTERS NOT LESS THAN 1 INCH HIGH ON A CONTRASTING BACKGROUND; AND;
 - THE USE OF THIS EXCEPTION MAY BE REVOKED BY THE BUILDING OFFICIAL AT ANY TIME FOR DUE CAUSE.

KEN McCracken, ARCHITECT
 Architecture • Program Management • Permitting
 16219 SE 12th Street
 Suite 202
 Vancouver, WA 98683
 CONTACT: MARTIN D. LAKEY
 PHONE: 360.719.1952
 EMAIL: M.LAKEY@PMDGNC.COM

SEAL: _____
PRELIMINARY - NOT FOR CONSTRUCTION

CONSULTANT: _____

CONSTRUCTION PLAN KEYNOTES 3

NOT USED 2

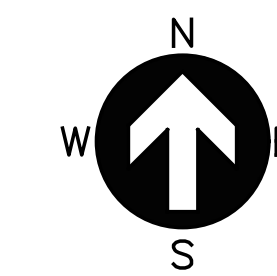
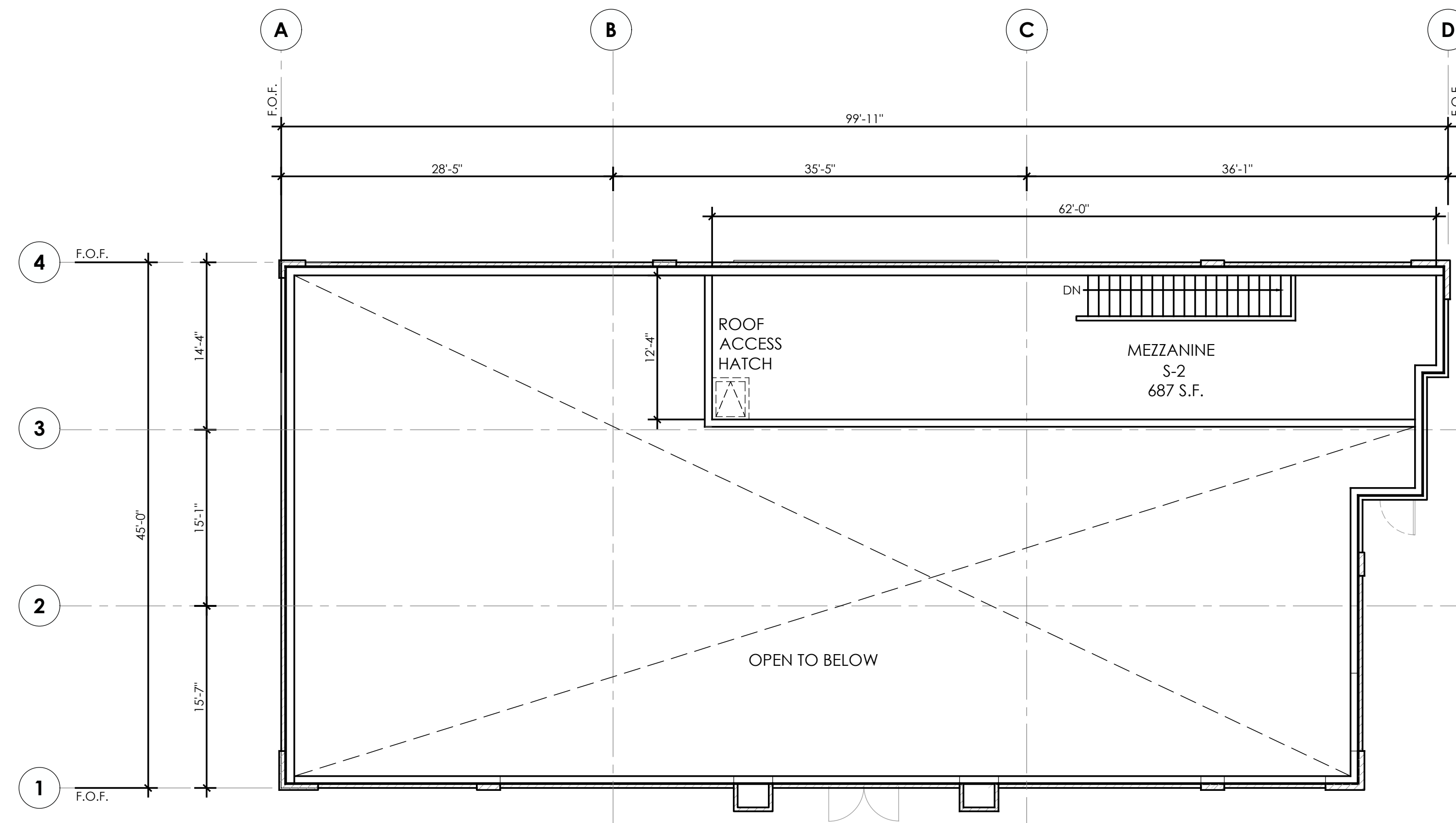
| KEY | DESCRIPTION |
|-----|---|
| | (N) EXTERIOR WALL CLADDING - MASONRY (BRICK OR STONE AS OCCURS) |
| | (N) EXTERIOR WALL - 1 HOUR RATED |
| | (N) EXTERIOR WALL - 2 HOUR RATED |
| | (N) INTERIOR PARTITION - NOT RATED |

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

DRAWN BY: XXX
 CHECKED BY: XXX
 ARCH. PROJECT NO.: **CHV18022.0**
 SHEET NAME: **GROUND FLOOR PLAN**
 SHEET NUMBER: _____

A02.10

HILLSBORO FAST SERVE
 STORE NO.: _____
 18450 NW WEST UNION ROAD
 WASHINGTON COUNTY
 (HILLSBORO), OR 97229



- (X) KEYNOTE DESCRIPTION
- ALL DOORS IN THE MEANS OF EGRESS SHALL BE OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT; THE UNLATCHING OF ANY DOOR SHALL NOT REQUIRE MORE THAN ONE OPERATION. NO MORE THAN 5LBS OF PRESSURE TO OPERATE.
 - FOR GROUP M OCCUPANCY, KEY-OPERATED LOCKING DEVICES, FROM THE EGRESS SIDE MAY BE USED ON THE MAIN EXTERIOR DOORS PROVIDED:
 - THE LOCKING DEVICE IS READILY DISTINGUISHABLE LOCKED; AND;
 - THERE IS A READILY VISIBLE SIGN ON OR ADJACENT TO THE DOOR STATING "THIS DOOR SHALL REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED; AND;
 - THIS SIGN SHALL BE IN LETTERS NOT LESS THAN 1 INCH HIGH ON A CONTRASTING BACKGROUND; AND;
 - THE USE OF THIS EXCEPTION MAY BE REVOKED BY THE BUILDING OFFICIAL AT ANY TIME FOR DUE CAUSE.

KEN McCracken,
ARCHITECT

Architecture • Program Management • Permitting

16219 SE 12th Street
Suite 202
Vancouver, WA 98683

CONTACT: MARTIN D. LAKEY
PHONE: 360.719.1932
EMAIL: MLAKY@PMDGNC.COM

SEAL: _____

PRELIMINARY - NOT FOR CONSTRUCTION

CONSULTANT: _____

| CONSTRUCTION PLAN KEYNOTES | 3 |
|----------------------------|---|
| | |

| NOT USED | 2 |
|----------|---|
| | |

| KEY | DESCRIPTION |
|-----|---|
| | (N) EXTERIOR WALL CLADDING - MASONRY (BRICK OR STONE AS OCCURS) |
| | (N) EXTERIOR WALL - 1 HOUR RATED |
| | (N) EXTERIOR WALL - 2 HOUR RATED |
| | (N) INTERIOR PARTITION - NOT RATED |

HILLSBORO FAST SERVE

STORE NO.:

18450 NW WEST UNION ROAD
WASHINGTON COUNTY
(HILLSBORO), OR 97229

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |

DRAWN BY: xxx

CHECKED BY: xxx

ARCH. PROJECT NO.: CHV18022.0

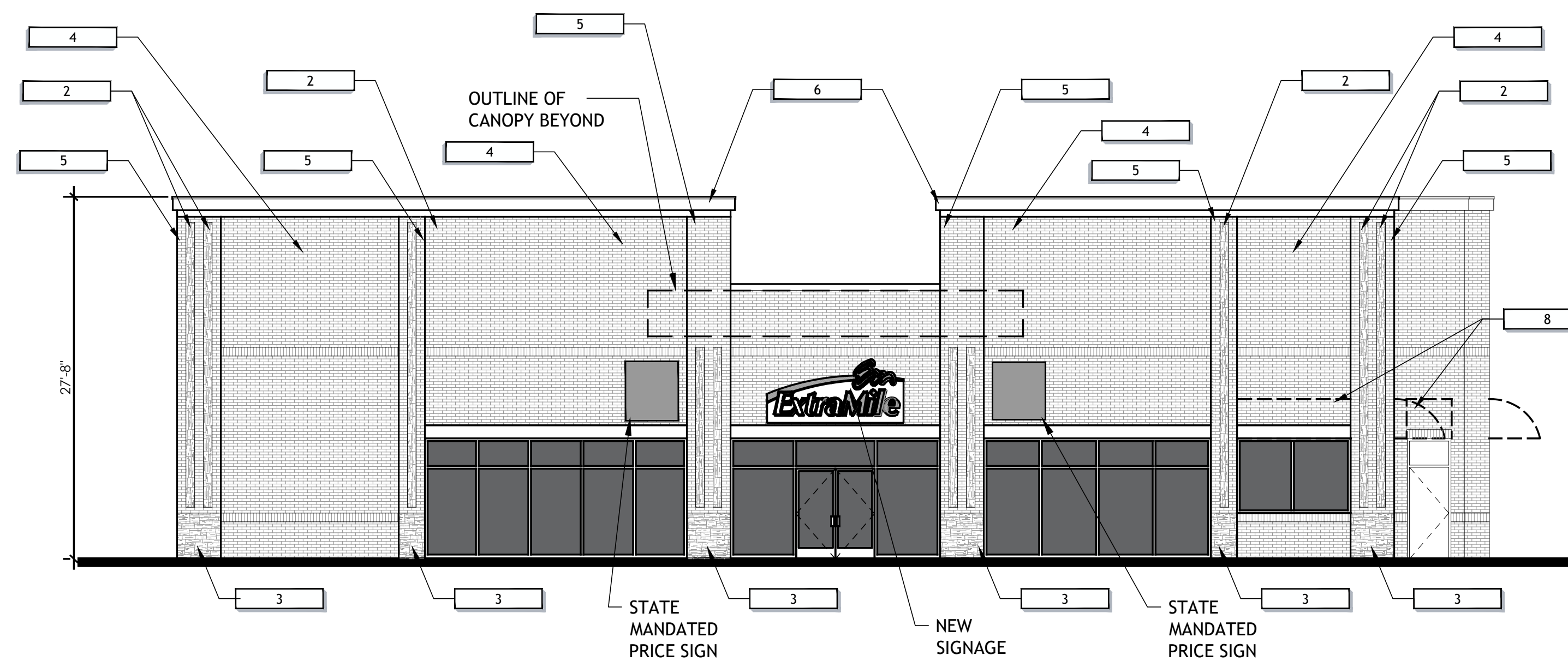
SHEET NAME: MEZZANINE FLOOR PLAN

SHEET NUMBER: _____

SEAL: _____

**PRELIMINARY -
NOT FOR
CONSTRUCTION**

CONSULTANT: _____



NOTE:
EXTERIOR SIGNAGE IS TO BE
SUBMITTED, REVIEWED, AND APPROVED
UNDER A SEPARATE PERMIT.

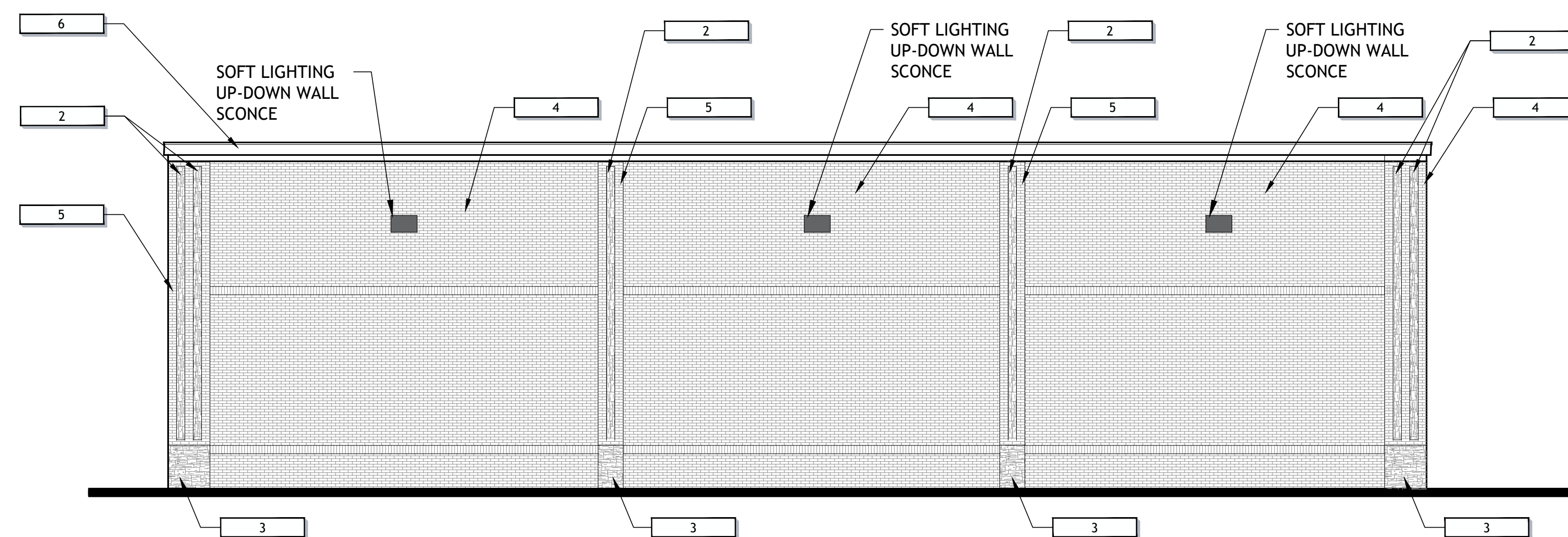
EAST ELEVATION

1/8" = 1'-0"

7

EXTERIOR ELEVATION KEYNOTES

3



WEST ELEVATION

1/8" = 1'-0"

5

MATERIALS LEGEND

4

X-X

1. NOT USED
2. CULTURED STONE:
TYPE: ARCHITECTURAL STONE TRIM
COLOR: GRAY
MFR: BORAL AMERICA
3. CULTURED STONE:
TYPE: EUROPEAN CASTLE STONE
COLOR: CHARDONNAY
MFR: BORAL AMERICA
- BRICK:
TYPE: STANDARD
COLOR: MOUNTAIN BLEND
(BODY)
MFR.: MUTUAL MATERIALS
5. BRICK:
TYPE: STANDARD
COLOR: CANYON MIST
(ACCENT)
MFR.: MUTUAL MATERIALS
6. 7/8" CEMENT PLASTER CORNICE
COLOR: PAINT TO MATCH CANYON MIST BRICK
- BLACK ALUMINUM:
STOREFRONT FRAMES AND BREAK METAL
8. AWNINGS:
QUARTER ROUND CANVAS OVER LIGHT METAL FRAMING;
COLOR: CHILLED WINE
MFR: ROSE CITY AWNING CO.
9. ELECTRICAL CLOSET DOORS & EMERGENCY EXIT DOORS:
COLOR: PAINT TO MATCH CANYON MIST BRICK

HILLSBORO FAST SERVE
STORE NO.:
18450 NW WEST UNION ROAD
WASHINGTON COUNTY
(HILLSBORO), OR 97229

| REV | DATE | DESCRIPTION |
|-----|----------|-------------|
| △ | 06.18.21 | UPDATE |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

DRAWN BY: XXX
CHECKED BY: XXX

ARCH. PROJECT NO.:
CHV18022.0

SHEET NAME:

EXTERIOR ELEVATIONS

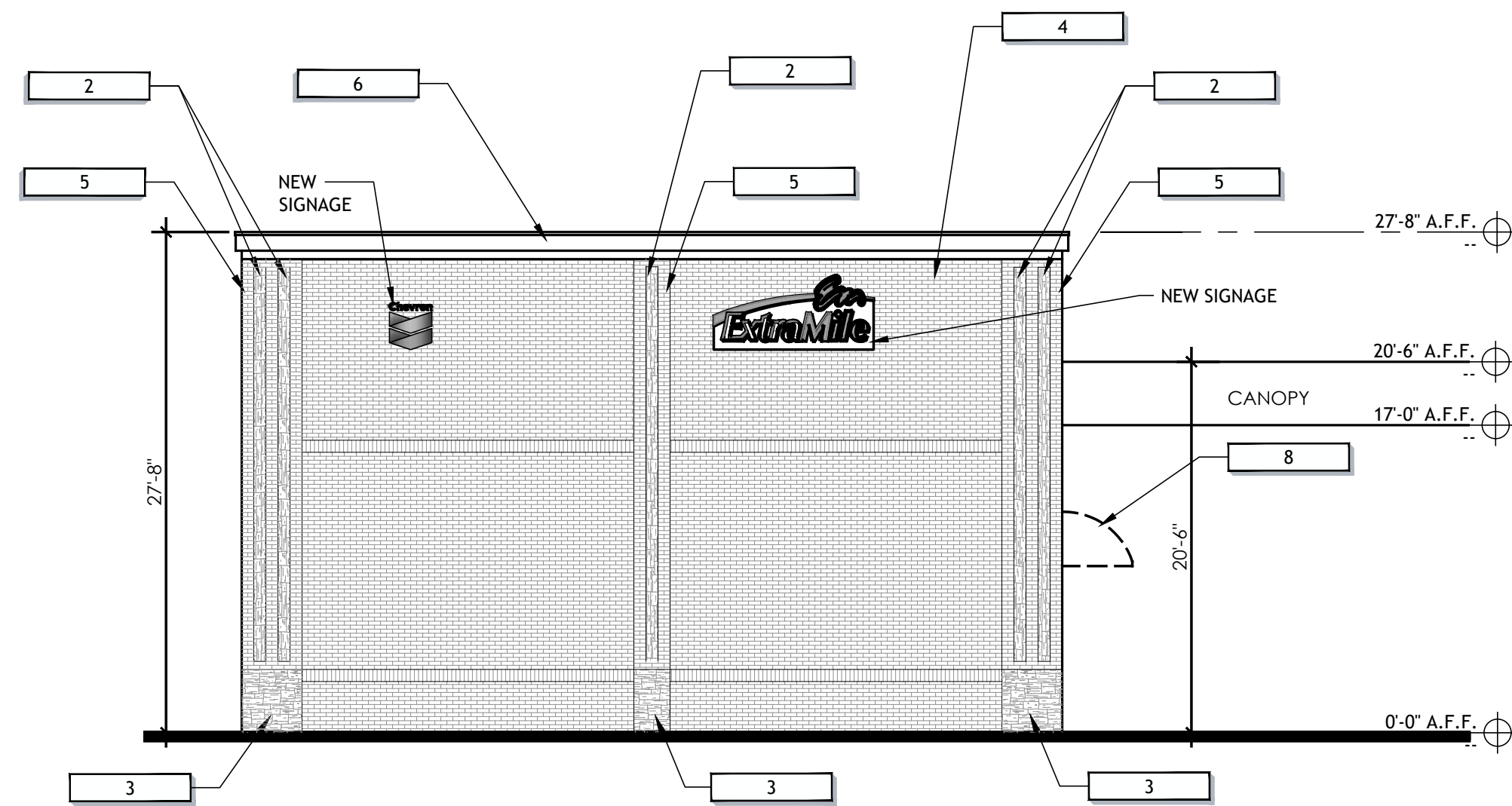
SHEET NUMBER:

A04.00

SEAL:

**PRELIMINARY -
NOT FOR
CONSTRUCTION**

CONSULTANT:



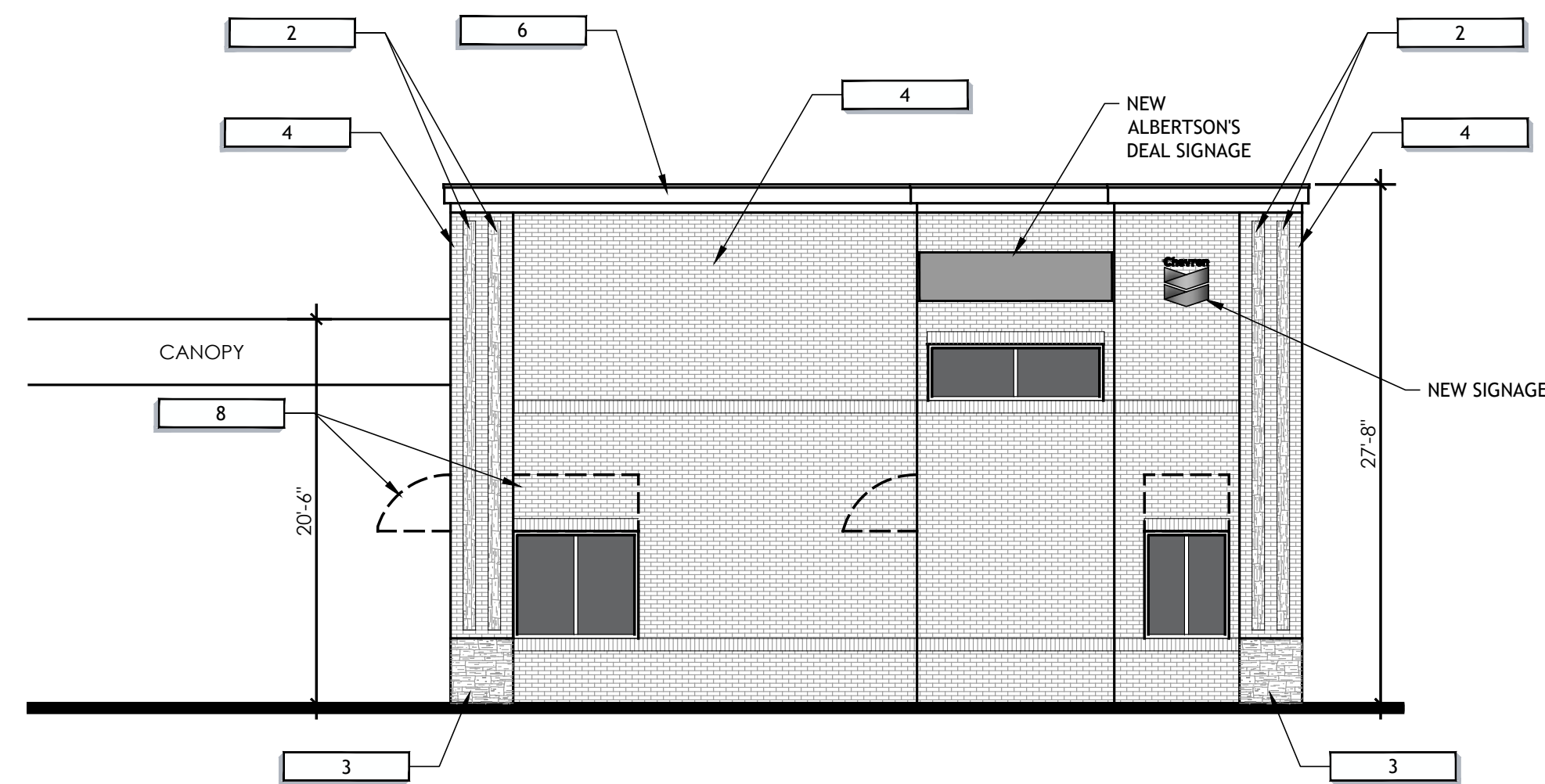
SOUTH ELEVATION

1/8" = 1'-0"

7

EXTERIOR ELEVATION KEYNOTES

3



NORTH ELEVATION

1/8" = 1'-0"

5

MATERIALS LEGEND

4

X-X

1. NOT USED
2. CULTURED STONE:
TYPE: ARCHITECTURAL STONE TRIM
COLOR: GRAY
MFR: BORAL AMERICA
3. CULTURED STONE:
TYPE: EUROPEAN CASTLE STONE
COLOR: CHARDONNAY
MFR: BORAL AMERICA
- BRICK:
TYPE: STANDARD
COLOR: MOUNTAIN BLEND
(BODY)
MFR.: MUTUAL MATERIALS
- BRICK:
TYPE: STANDARD
COLOR: CANYON MIST
(ACCENT)
MFR.: MUTUAL MATERIALS
- 7/8" CEMENT PLASTER CORNICE
COLOR: PAINT TO MATCH CANYON MIST BRICK
- BLACK ALUMINUM:
STOREFRONT FRAMES AND BREAK METAL
8. AWNINGS:
QUARTER ROUND CANVAS OVER LIGHT METAL FRAMING;
COLOR: CHILLED WINE
MFR: ROSE CITY AWNING CO.
9. ELECTRICAL CLOSET DOORS & EMERGENCY EXIT DOORS:
COLOR: PAINT TO MATCH CANYON MIST BRICK

HILLSBORO FAST SERVE
STORE NO.:
18450 NW WEST UNION ROAD
WASHINGTON COUNTY
(HILLSBORO), OR 97229

| REV | DATE | DESCRIPTION |
|-----|----------|-------------|
| Δ | 06.18.21 | UPDATE |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

DRAWN BY: XXX
CHECKED BY: XXX

ARCH. PROJECT NO.:
CHV18022.0

SHEET NAME:

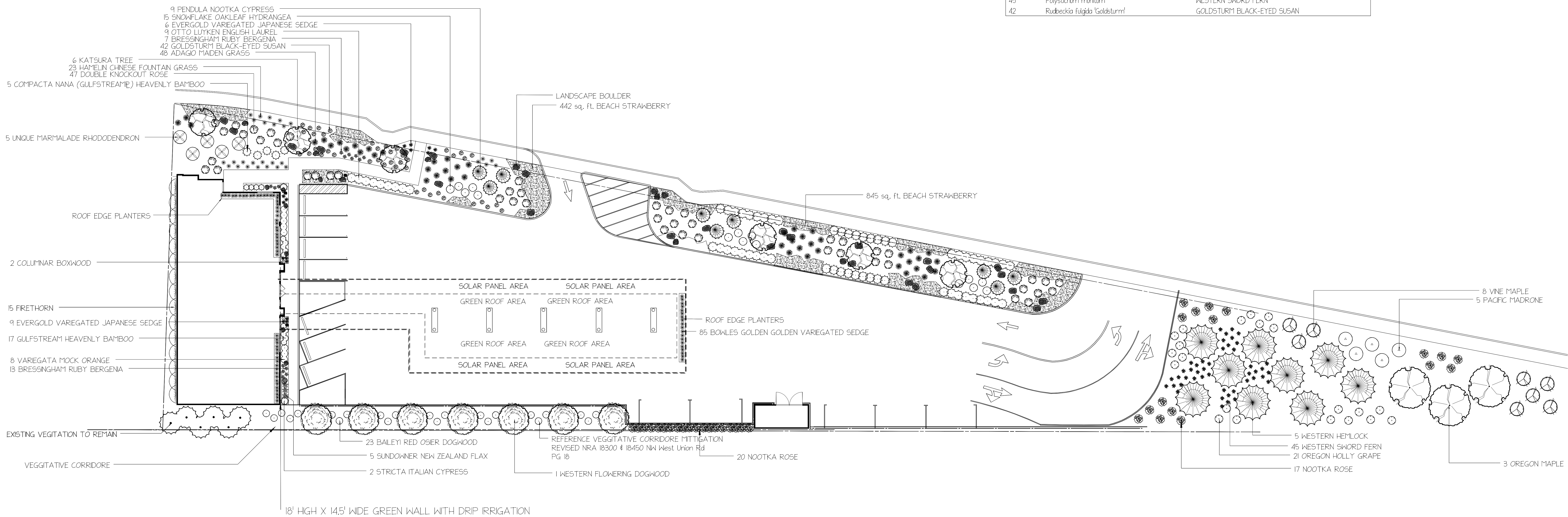
EXTERIOR ELEVATIONS

SHEET NUMBER:

A04.01

| Qty | Botanical Name | Common Name |
|-------------------------------|--|---|
| Trees | | |
| 8 | <i>Acer circinatum</i> | VINE MAPLE |
| 3 | <i>Acer macrophyllum</i> | OREGON MAPLE |
| 5 | <i>Arbutus menziesii</i> | PACIFIC MADRONE |
| 6 | <i>Cercidiphyllum japonicum</i> | KATSURA TREE |
| 9 | <i>Chamaecyparis nootkatensis 'Pendula'</i> | PENDULA NOOTKA CYPRESS |
| 1 | <i>Cornus nuttallii</i> | WESTERN FLOWERING DOGWOOD |
| 2 | <i>Cupressus sempervirens 'Stricta'</i> | STRICTA ITALIAN CYPRESS |
| 5 | <i>Tsuga heterophylla</i> | WESTERN HEMLOCK |
| Shrubs | | |
| 2 | <i>BUMUS SEMPERVIRENS 'GRAHAM BLANDY'</i> | COLUMNAR BOXWOOD |
| 23 | <i>Cornus stolonifera 'Bailey'</i> | BAILEY RED OSER DOGWOOD |
| 15 | <i>Hydrangea quercifolia 'Snowflake'</i> | SNOWFLAKE OAKLEAF HYDRANGEA |
| 21 | <i>Mahonia aquifolium</i> | OREGON HOLLY GRAPE |
| 5 | <i>Nandina domestica 'Compacta Nana (Gulfstream®)'</i> | COMPACTA NANA (GULFSTREAM®) HEAVENLY BAMBOO |
| 17 | <i>Nandina domestica 'Compacta Nana'</i> | GULFSTREAM HEAVENLY BAMBOO |
| 8 | <i>Pittosporum tobira 'Variegata'</i> | VAREGATA MOCK ORANGE |
| 9 | <i>Prunus laurocerasus 'Otto Luyken'</i> | OTTO LUYKEN ENGLISH LAUREL |
| 15 | <i>Pyracantha coccinea</i> | FRETHORN |
| 5 | <i>Rhododendron sp. 'Unique Marmalade'</i> | UNIQUE MARMALADE RHODODENDRON |
| 37 | <i>Rosa nootkatensis</i> | NOOTKA ROSE |
| 47 | <i>Rosa sp. 'Double Knockout'</i> | DOUBLE KNOCKOUT ROSE |
| Ornamental Grasses | | |
| 85 | <i>Carex elata 'Bowles Golden'</i> | BOWLES GOLDEN GOLDEN VAREGATED SEDGE |
| 15 | <i>Carex hochijensis 'Evergold'</i> | EVERGOLD VAREGATED JAPANESE SEDGE |
| 48 | <i>Miscanthus sinensis 'Adagio'</i> | ADAGIO MADEN GRASS |
| 23 | <i>Pennisetum alopecuroides 'Hamelin'</i> | HAMELIN CHINESE FOUNTAIN GRASS |
| 5 | <i>Phormium tenax 'Sundowner'</i> | SUNDOWNER NEW ZEALAND FLAX |
| Perennials and Annuals | | |
| 20 | <i>Bergenia cordifolia 'Bressingham Ruby'</i> | BRESSINGHAM RUBY BERGENIA |
| 1287 sq. ft. | <i>Fragaria chiloensis</i> | BEACH STRAWBERRY |
| 45 | <i>Polystichum munifolium</i> | WESTERN SWORD FERN |
| 42 | <i>Rudbeckia fulgida 'Goldsturm'</i> | GOLDSTURM BLACK-EYED SUSAN |

NOTE: THIS IS A CONCEPTUAL DESIGN ONLY, THE EXISTING CONDITIONS INCLUDING PROPERTY LINE LOCATIONS, UTILITY LOCATIONS ETC. AS SHOWN ON FLAN ARE APPROXIMATE. OWNER OR CONTRACTOR SHALL VERIFY ALL PROPERTY LINES, MISC DIMENSIONS & ELEVATIONS.

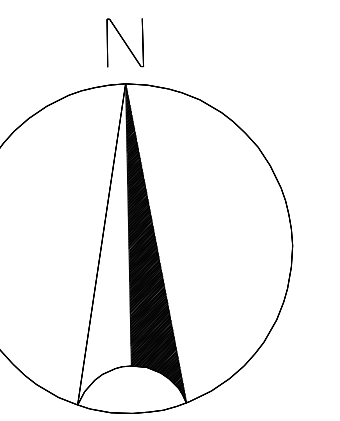
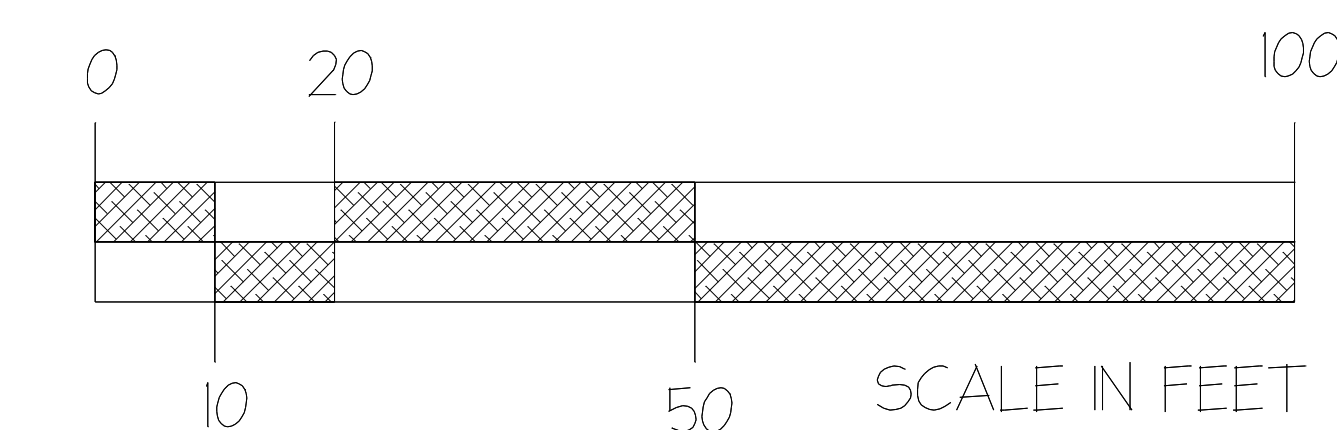


IRRIGATION AND PLANTING AREA INFO

APPROX 4,170 SQ FT GREEN ROOF LANDSCAPED AREA IRRIGATED WITH SPRAY IRRIGATION

APPROX. 17,500 SQ FT LANDSCAPED AREA WITH SPRAY IRRIGATION

260 SQ FT GREEN WALL WITH PLANTINGS IRRIGATED WITH DRIP IRRIGATION.



NORTH

WEST UNION CHEVRON
PRELIMINARY LANDSCAPE PLAN

DRAWING #

DATE

06/17/21

SCALE

1"=16'

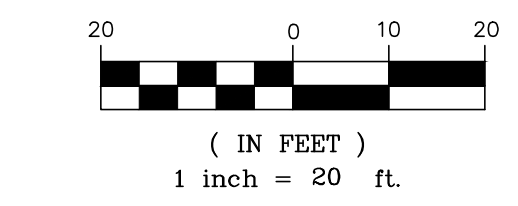
TOPOGRAPHIC SURVEY
 FOR:
 BOB BARMAN
 SITUATED IN H.B. BONES D.L.C. NO. 62 IN
 THE NW 1/4 OF SECTION 9
 T.1N. R.1W. W.M.
 WASHINGTON COUNTY, OREGON
 TAX MAP 1N 1 98C
 DECEMBER 19 2019

NOTES:

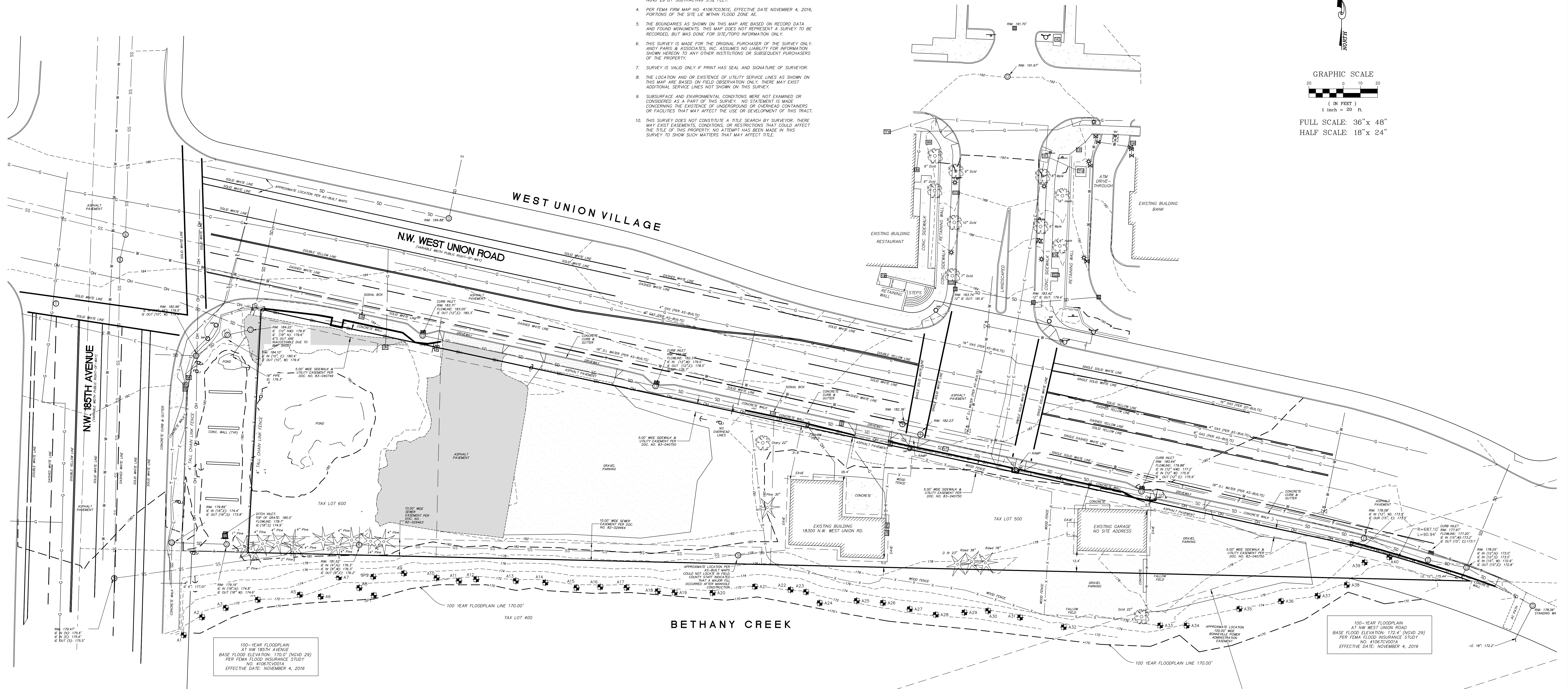
1. TOPOGRAPHIC FEATURES ADDED JANUARY 2020 WHICH INCLUDE AN EXPANDED AREA SURVEYED AT THE ENTRANCE TO WEST UNION VILLAGE.
2. VERTICAL DATUM IS NGVD 29, BASED ON WASHINGTON COUNTY BENCHMARK NO. 194 HAVING AN ELEVATION OF 209.254 FEET.
3. NAVD 88 ELEVATIONS FROM FEMA FLOOD INSURANCE STUDY CONVERTED TO NGVD 29 BY SUBTRACTING 4.32 FEET.
4. PER FEMA FIRM MAP NO. 41067C0361C, EFFECTIVE DATE NOVEMBER 4, 2016, PORTIONS OF THE SITE LIE WITHIN FLOOD ZONE AE.
5. THE BOUNDARIES AS SHOWN ON THIS MAP ARE BASED ON RECORD DATA AND FOUND MONUMENTS. THIS MAP DOES NOT REPRESENT A SURVEY TO BE RECORDED, BUT WAS DONE FOR SITE/TOPO INFORMATION ONLY.
6. THIS SURVEY IS MADE FOR THE ORIGINAL PURCHASER OF THE SURVEY ONLY. ANDY PARIS & ASSOCIATES, INC. ASSUMES NO LIABILITY FOR INFORMATION SHOWN HEREON TO ANY OTHER INSTITUTIONS OR SUBSEQUENT PURCHASERS OF THE PROPERTY.
7. SURVEY IS VALID ONLY IF PRINT HAS SEAL AND SIGNATURE OF SURVEYOR.
8. THE LOCATION AND OR EXISTENCE OF UTILITY SERVICE LINES AS SHOWN ON THIS MAP ARE BASED ON FIELD OBSERVATION ONLY. THERE MAY EXIST ADDITIONAL SERVICE LINES NOT SHOWN ON THIS SURVEY.
9. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
10. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR. THERE MAY EXIST EASEMENTS, CONDITIONS, OR RESTRICTIONS THAT COULD AFFECT THE TITLE OF THIS PROPERTY. NO ATTEMPT HAS BEEN MADE IN THIS SURVEY TO SHOW SUCH MATTERS THAT MAY AFFECT TITLE.



GRAPHIC SCALE



FULL SCALE: 36" x 48"
 HALF SCALE: 18" x 24"



100-YEAR FLOODPLAIN
 AT NW 185TH AVENUE
 BASE FLOOD ELEVATION: 170.0' (NGVD 29)
 PER FEMA FLOOD INSURANCE STUDY
 NO. 41067C0361C
 EFFECTIVE DATE: NOVEMBER 4, 2016

100-YEAR FLOODPLAIN
 AT NW WEST UNION ROAD
 BASE FLOOD ELEVATION: 172.4' (NGVD 29)
 PER FEMA FLOOD INSURANCE STUDY
 NO. 41067C0361C
 EFFECTIVE DATE: NOVEMBER 4, 2016

LEGEND:

| | | | | | | | |
|---|---------------------------|-------|--------------------------|--------|--------------------------------|--------------|-----------------------------------|
| ○ | COMMUNICATIONS MANHOLE | □ | COMMUNICATIONS VAULT | — t — | UNDERGROUND POWER LINE | 000.0 0p x | GROUND SHOT - SPOT ELEVATION |
| ○ | SANITARY SEWER MANHOLE | □ | GAS RISER | — g — | UNDERGROUND GAS LINE | 000.0 0c x | EDGE OF CONCRETE - SPOT ELEVATION |
| ○ | STORM DRAIN MANHOLE | □ | GAS METER | — sd — | UNDERGROUND STORM LINE | 000.000 0m x | SIDEWALK - SPOT ELEVATION |
| □ | AREA DRAIN OR CATCH BASIN | □ | MAILBOX | — ss — | UNDERGROUND SANITARY LINE | 000.00 0c x | TOP OF CURB - SPOT ELEVATION |
| □ | WATER METER | — t — | SIGN | — t — | UNDERGROUND COMMUNICATION LINE | 000.00 0u x | GUTTER FLOWLINE - SPOT ELEVATION |
| □ | HYDRANT | — u — | WATER VALVE | — u — | UNDERGROUND WATER LINE | 000.00 0w x | UNDERGROUND WATER LINE |
| □ | TRAFFIC SIGNAL POST | □ | IRRIGATION CONTROL VALVE | — o — | OVERHEAD UTILITY LIE | 000.00 0v x | EDGE OF GRAVEL - SPOT ELEVATION |
| □ | UTILITY POLE | □ | STREET LIGHT | — f — | FENCE LINE AS NOTED | 000.00 0p x | EDGE OF PAVEMENT - SPOT ELEVATION |
| □ | GUY ANCHOR | □ | ELECTRIC TRANSFORMER | | | | |
| □ | ELECTRIC METER | □ | TRAFFIC SIGNAL BOX | | | | |
| □ | ELECTRIC RISER | □ | WATER VAULT | | | | |
| □ | UTILITY BOX | □ | ELECTRIC VAULT | | | | |
| □ | UTILITY RISER | □ | WETLAND FLAG | | | | |
| | | □ | WETLAND SAMPLE PIT | | | | |

REGISTERED
 PROFESSIONAL
 LAND SURVEYOR

 OREGON
 SEPTEMBER 10, 2019
 BRIAN LECKIE
 776.6721.6
 RENEWS: DEC. 31, 2022

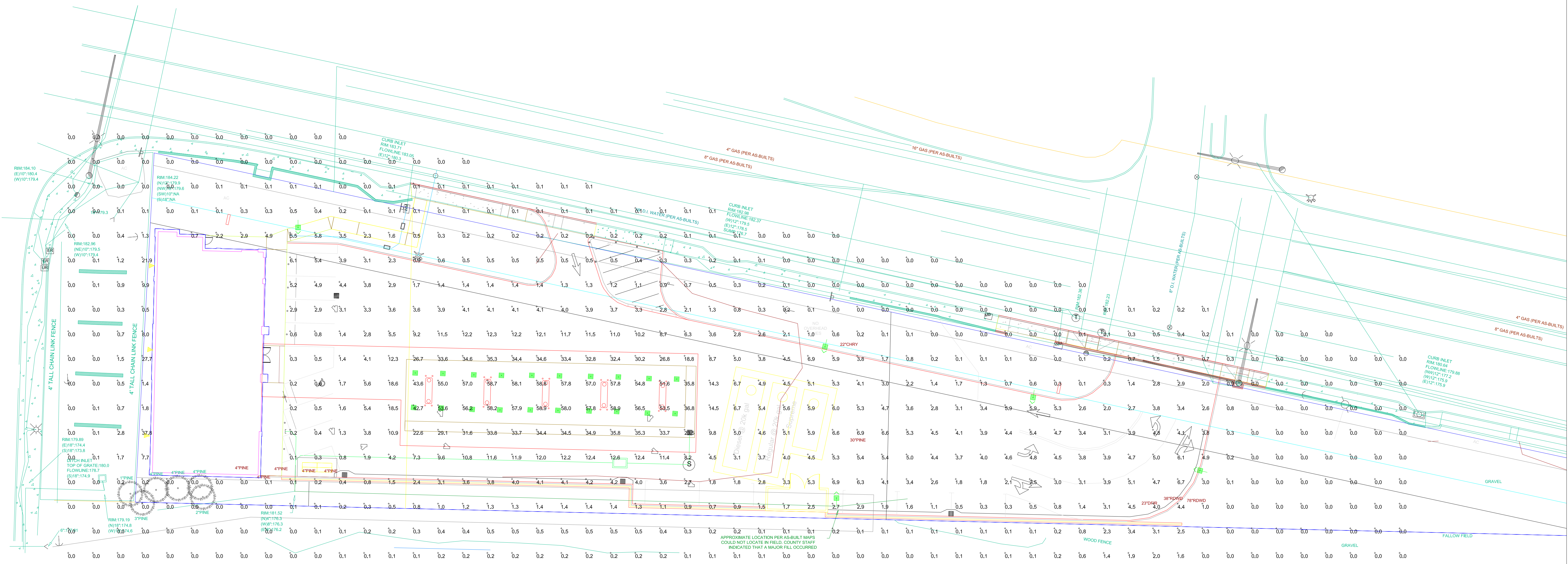
ANDY PARIS AND ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 16057 BOONES FERRY ROAD
 LAKE OSWEGO, OREGON 97035
 PH: 503-636-3341
 www.andyparis.com
 PROJECT: 17179
 DRAWING: 17179TP3.DWG
 DATE/TIME: AN 01/15/20

Calculation Summary

| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
|---------------------------|-------------|-------|-------|------|------|---------|---------|
| ALL CALC POINTS AT GRADE | Illuminance | Fc | 4.55 | 58.9 | 0.0 | N.A. | N.A. |
| CANOPY SUMMARY | Illuminance | Fc | 50.28 | 58.9 | 23.5 | 2.14 | 2.51 |
| PARKING AND DRIVE SUMMARY | Illuminance | Fc | 6.61 | 35.3 | 0.1 | 66.10 | 353.00 |

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.



| Luminaire Schedule | | | | | | |
|--------------------|-----|-------|-------------|-------|---|-------------|
| Symbol | Qty | Label | Arrangement | LLF | Description | Total Watts |
| | 20 | A | SINGLE | 1.000 | SCV-LED-13L-SC-50 - 15' MH | 1800 |
| | 5 | B | SINGLE | 1.000 | SLM-LED-18L-SIL-FT-50-70CRI-IL-SINGLE ON 16' POLE + 2' BASE | 742.5 |
| | 3 | D | SINGLE | 1.000 | WPSLL-04L-50 - 7' MH | 120 |

JOB NO.
RCI-0193

JOB NAME
**CHEVRON
WEST UNION RD
HILLSBORO, OR**